

CLARKSBURG



Design Guidelines
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INTRODUCTION

Professional Listing.....3
Table of Contents.....4
The Site Plan.....5

URBAN DESIGN GUIDELINES

Block Reference Plan.....6
Phase 1A Blocks AA, BB & Partial CC (Housing Types).....7
 Blocks AA, BB & Partial CC (Urban Standards).....8
 Blocks EE, GG & Partial CC (Housing Types).....9
 Blocks B, C & E (Urban Standards).....10
 Blocks DD, Partial CC & HH (Housing Types).....11
 Blocks CC & DD (Urban Standards).....12
 Partial Plan HH (Housing Types).....13
 Partial Block HH (Urban Standards).....14

Phase 1B Lots 1-23, Blk. A Option A (Housing Types).....15
 Lots 1-23, Blk. A Option A (Urban Standards).....16
 Lots 1-23, Blk. A Option B (Housing Types).....17
 Lots 1-23 (Housing Types A & B).....18
 Lots 1-23 (Housing Types C & D).....19
 Blocks C, D & E (Housing Types).....20
 Blocks C, D & E (Urban Standards).....21
 Blocks F & O (Housing Types).....22
 Blocks F & O (Urban Standards).....23

Phase 2 Blocks G & H (Housing Types).....24
 Blocks G & H (Urban Standards).....25
 Blocks J (Housing Types).....26
 Blocks J (Urban Standards).....27
 Blocks K & N (Housing Types).....28
 Blocks K & N (Urban Standards).....29
 Blocks L & M (Housing Types).....30
 Blocks L & M (Urban Standards).....31
 Blocks R, S, T & Partial A (Housing Types).....32
 Blocks R, S, T & Partial A (Urban Standards).....33

Summary of Housing Types.....34

Setback Requirements
 Single Family Homes.....35
 Townhomes.....36
 Multi-Family Homes.....37

ARCHITECTURAL DESIGN GUIDELINES

Exterior Walls.....38
Doors & Windows.....39
Roofs and Chimneys.....40
Architectural Elements.....41
Fences-General.....42
Garden Walls and Fences.....43
Porches, Walks, Decks and Patio.....44
Alleys, Outbuildings, Garages,
Mechanical Equipments and Refuse Containers.....45

HARDSCAPE DESIGN GUIDELINES

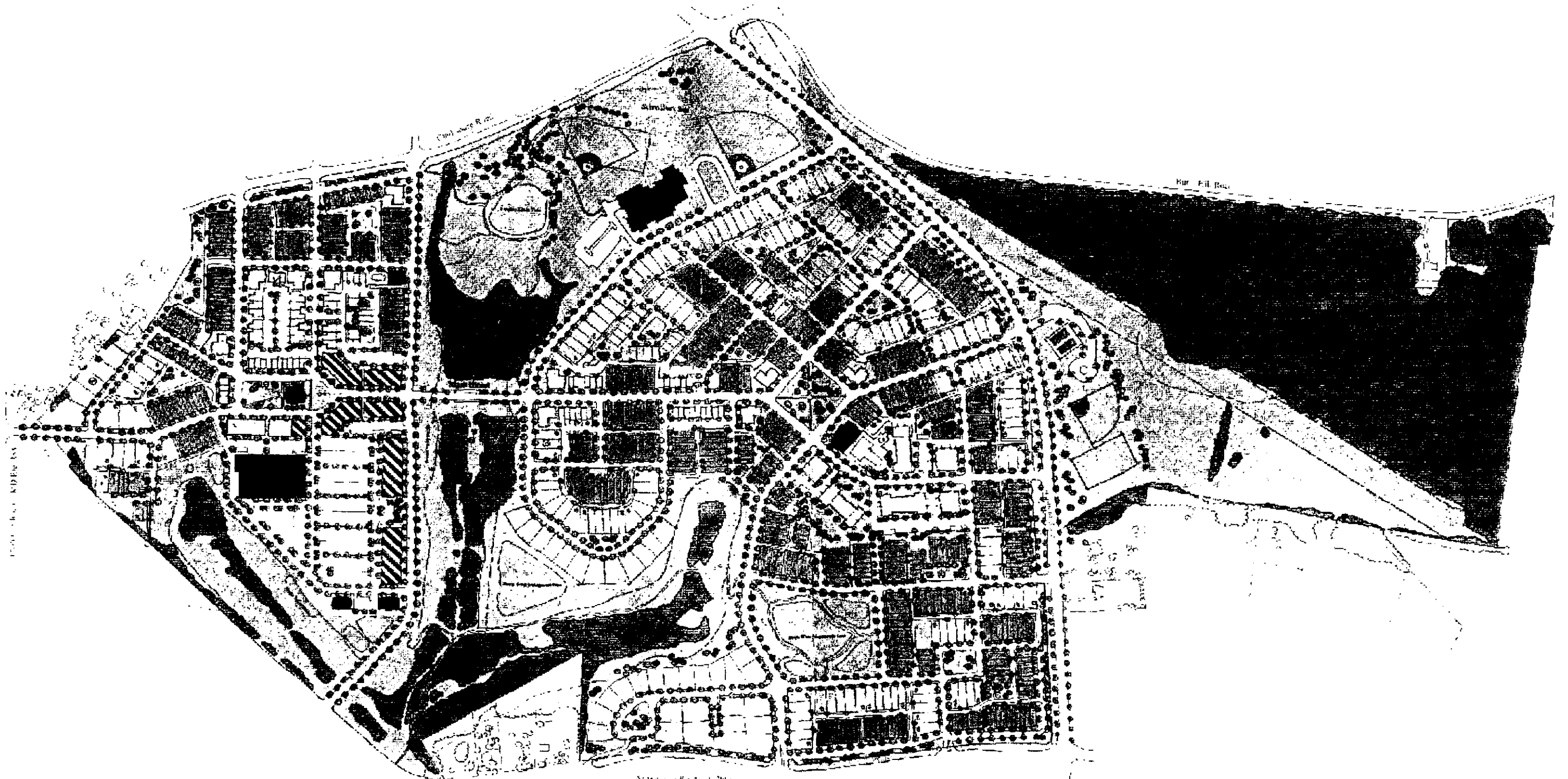
Lead Walks.....46
Driveways and Chimneys.....47
Patio, Terraces and Decks.....48
Fences - Front Yard, Wood Picket.....49
Fences - Gate Options.....50
Fences - Front Yards, Metal.....51
Fences - Rear Yard Screen Fence.....52
Fences - Slope Transitions.....53
Lighting.....54
Site Furnishings.....55
Temporary Sign.....56

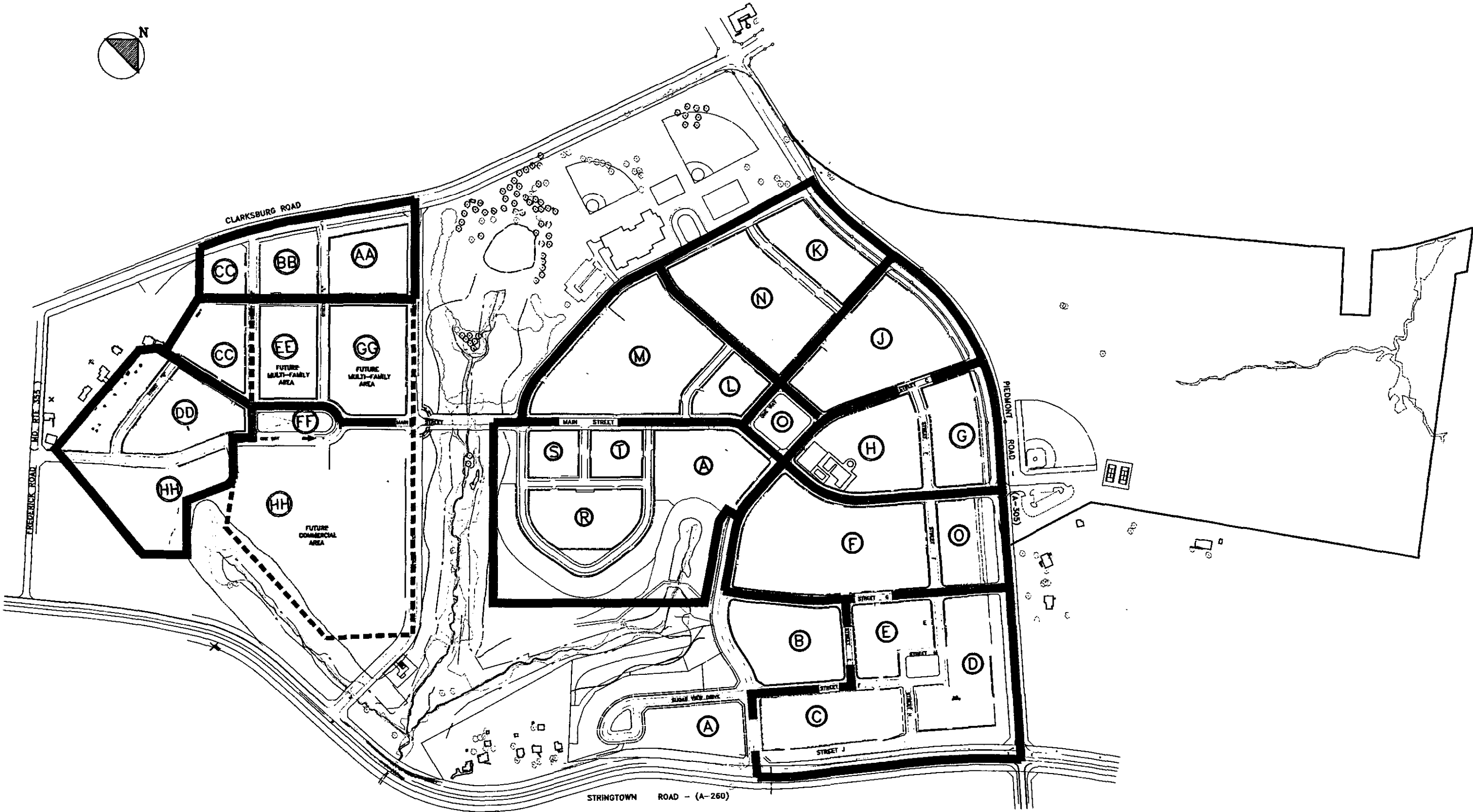
LANDSCAPE DESIGN GUIDELINES

General Requirements.....57
Landscape - Single Family Homes.....58
Landscape - Townhomes.....59
Recommended Plant Palette-Single Family / Townhomes.....60

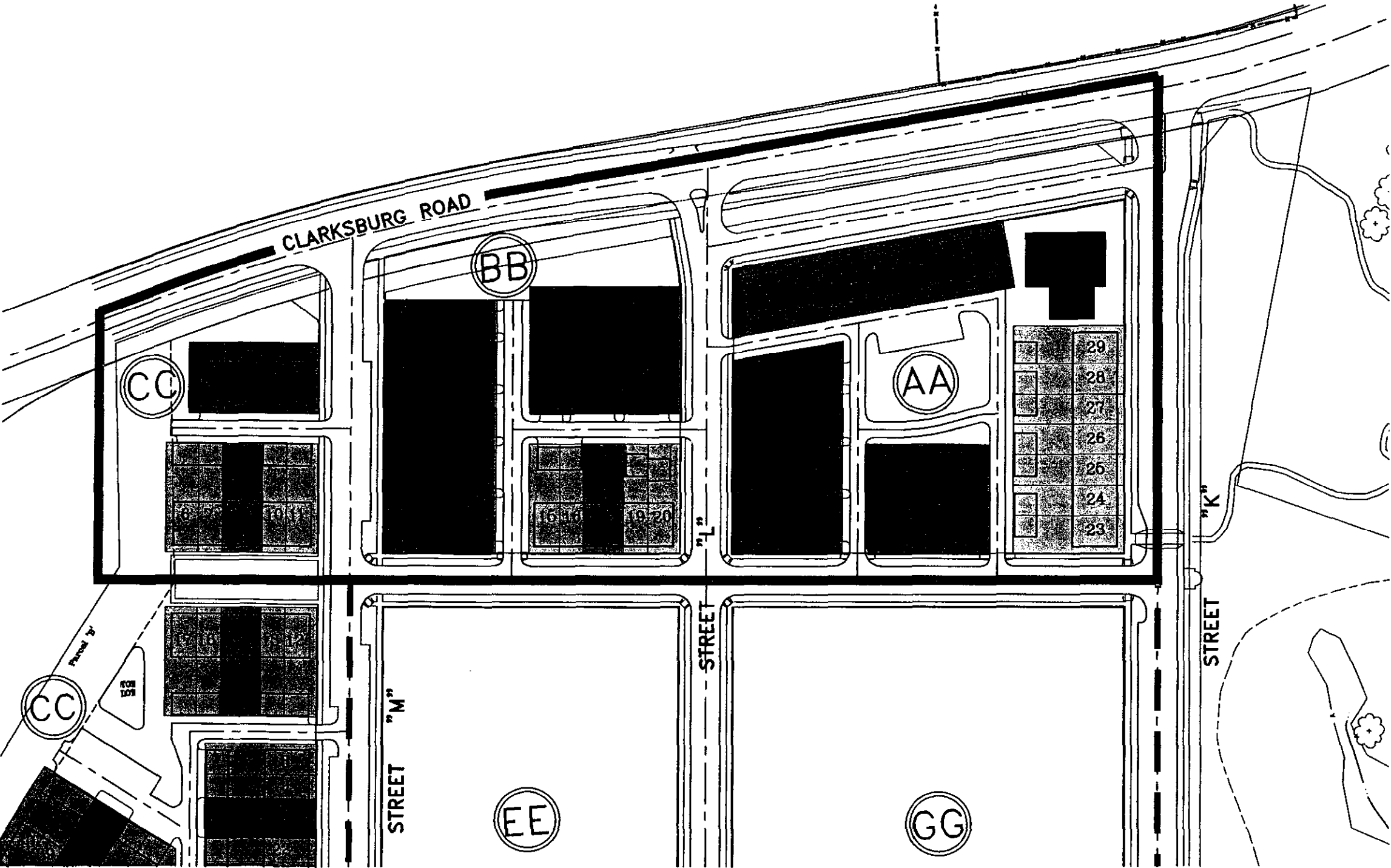
DESIGN REVIEW PROCESS

Design Review Process Outline.....61
Design Review Form - Schematic.....62
Design Review Form - Final.....63





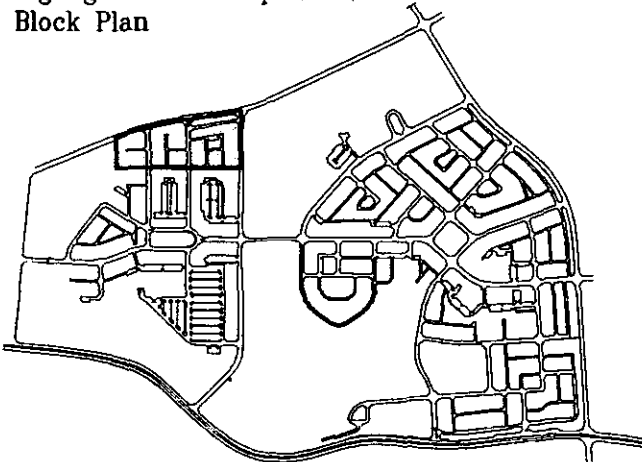
Housing Type Legend			
32' Wide Single Family Lot	Multi-Family 28 Units	24' Wide Townhome	20' Wide Townhome
Manor Home 9 Units	28' Wide Townhome	22' Wide Townhome	18' Wide Townhome



BLOCKS AA, BB & CC	
MULTI-FAMILY	
Manor Homes (9 Units/Buildings)	9
Apartments over Retail	
Condos (3 Stories)	
Condos (4 Stories)	
2 over 2	
Charlestown	
Sub Total	9
SINGLE FAMILY DETACHED	
32' Wide	
40' Wide	
50' Wide	
50' Wide x 65' Deep	
60' Wide	
Sub Total	
SINGLE FAMILY ATTACHED	
18' Wide	4
20' Wide (Rear Loaded)	16
22' Wide	8
24' Wide	25
26' Wide	
28' Wide	7
Sub Total	60
Total Residential Units	69

* See Page 34 for Complete Summary of Phases.

Highlighted area represents Block Plan



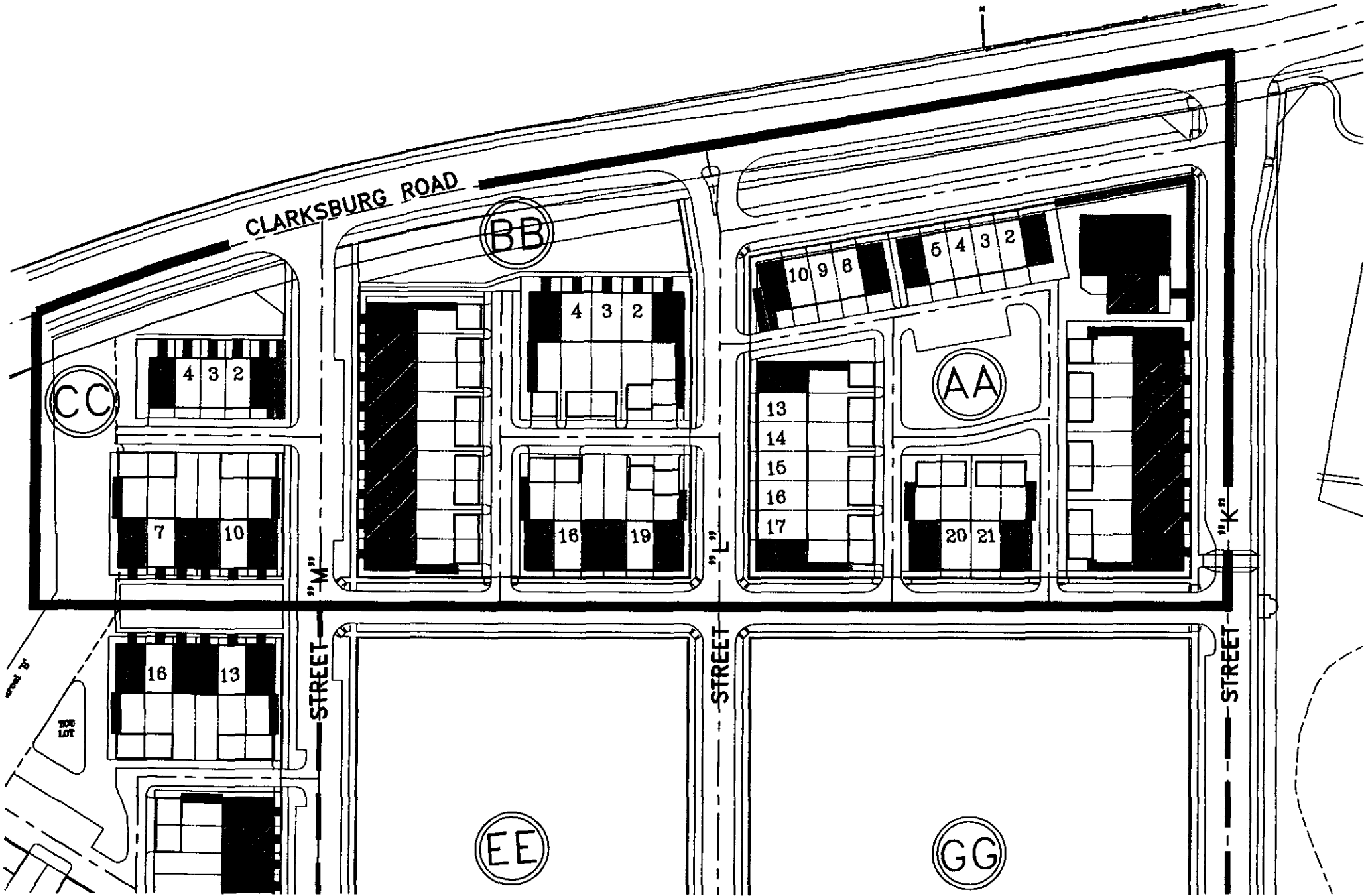
Site Key Plan

Phase 1A - Blocks AA, BB & Partial CC

LOT DESIGN LEGEND					
Materials		Fencing		Attachments	
Brick Home (Front & Sides)		Brick Wall	Evergreen Hedge	Porch	
Hardi Plank Siding		Wrought Iron Fence	Screen Fences	Fixed Garage Location	
Brick Leadwalk		Picket Fence	Park Fence	Ground Level Decks	

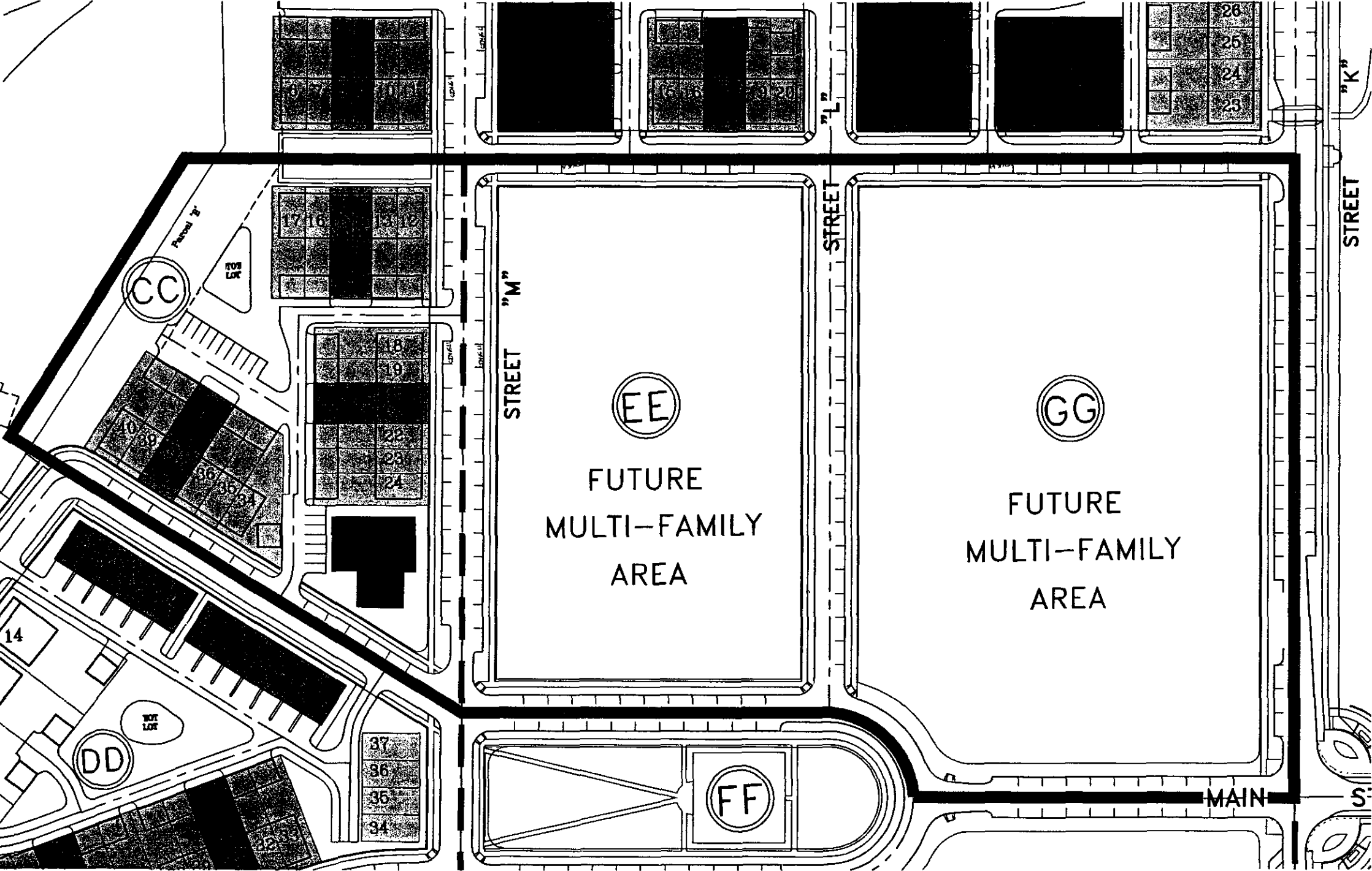
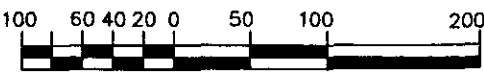
Maximum Impervious Areas			
Lot #'s	Maximum Impervious Areas Allowed (SQ. FT.)	Lot #'s	Maximum Impervious Areas Allowed (SQ. FT.)
Partial Block AA		Partial Block BB	
1	1230	1	1750
2	1230	2	1750
3	1230	3	1750
4	1230	4	1750
5	1230	5	1750
6	1230	6	1750
7	1230	7	1750
8	1230	8	1750
9	1230	9	1750
10	1230	10	1750
11	1230	11	1750
12	1750	12	1750
13	1750	13	1750
14	1750	14	1750
15	1750	15	1620
16	1750	16	1620
17	1750	17	1370
18	1750	18	1370
19	1750	19	1620
20	1750	20	1620
21	1750	Block CC	
22	1750	1	1620
23	1910	2	1620
24	1910	3	1620
25	1910	4	1620
26	1910	5	1620
27	1910	6	1620
28	1910	7	1620
29	1910	8	1370
30-38	5000	9	1370
		10	1620
		11	1620

* Impervious Areas (for Individual Lots) includes House, Garage, Driveway Off Alleys, Stoop, Leadwalk, Patio and Porch.



Phase 1A - Blocks AA, BB & Partial CC

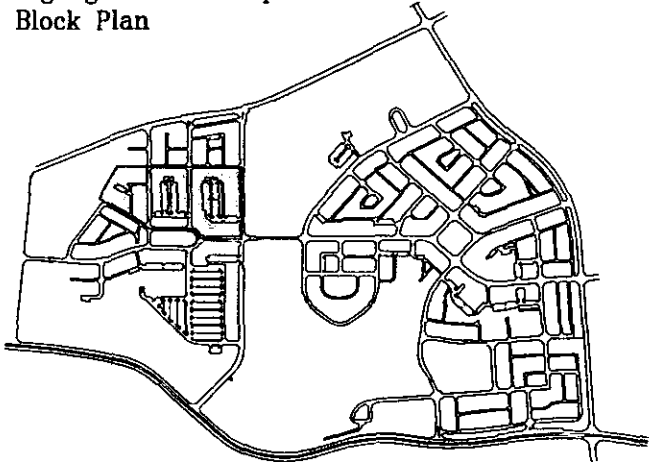
Housing Type Legend			
	60' Wide Single Family Lot		Multi-Family 28 Units
	24' Wide Townhome		20' Wide Townhome
	Apartment Units over Retail		Brownstone (Multi-Family)
	22' Wide Townhome		18' Wide Townhome
	Manor Home 9 Units		28' Wide Townhome



BLOCKS (EE, GG & CC)	
MULTI-FAMILY	
Manor Homes (9 Units/Buildings)	9
Apartment Units over Retail	
Condos (3 Stories)	
Condos (4 Stories)	
2 over 2	
Charlestown	
Sub Total	9
SINGLE FAMILY DETACHED	
32' Wide	
40' Wide	
50' Wide	
50' Wide x 65' Deep	
60' Wide	
Sub Total	
SINGLE FAMILY ATTACHED	
18' Wide	6
20' Wide (Rear Loaded)	
22' Wide	14
24' Wide	
26' Wide	
28' Wide	
Sub Total	20
Total Residential Units	29













* See Page 34 for Complete Summary of Phases.

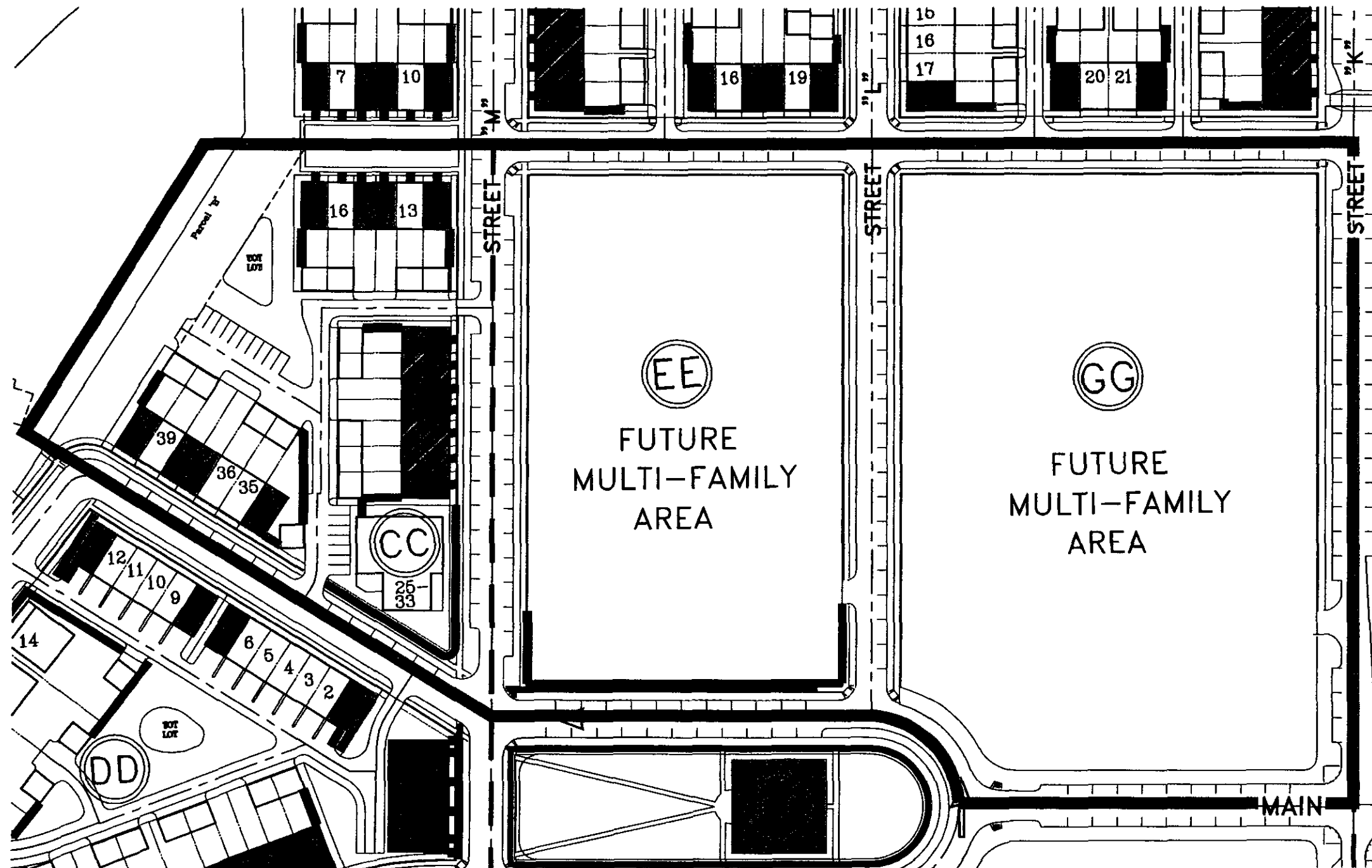
Highlighted area represents Block Plan



Site Key Plan

Phase 1A - Blocks EE, GG & Partial CC

LOT DESIGN LEGEND			
Materials	Fencing		Attachments
 Brick Home (Front & Sides)	 Brick Wall	 Evergreen Hedge	 Porch
 Hardi Plank Siding	 Wrought Iron Fence	 Screen Fences	 Fixed Garage Location
 Brick Leadwalk	 Picket Fence	 Park Fence	 Ground Level Decks



Phase 1A - Blocks EE, GG & Partial CC

Maximum Impervious Areas			
Lot #'s	Maximum Impervious Areas Allowed (SQ. FT.)	Lot #'s	Maximum Impervious Areas Allowed (SQ. FT.)
Partial Block GG		Partial Block EE	
1		14	
2		15	
3		16	
4		17	
5		18	
6		19	
7		20	
8		21	
9		22	
10		23	
11		24	
12		25	
13		26	
14		27	
15		Partial Block CC	
16			
17		12	1620
18		13	1620
19		14	1370
20		15	1370
21		16	1620
22		17	1620
Block EE		18	1620
		19	1620
		20	1370
1		21	1370
2		22	1620
3		23	1620
4		24	1620
5		25-33	5000
6		34	1620
7		35	1620
8		36	1620
9		37	1370
10		38	1370
11		39	1620
12		40	1620
13			

* Impervious Areas (for Individual Lots) includes House, Garage, Driveway Off Alleys, Stoop, Leadwalk, Patio and Porch.

Housing Type Legend

32' Wide Single Family Lot

40' Wide Single Family Lot

50' Wide Single Family Lot

Manor Home 9 Units

Multi-Family 28-30Units

Multi-Family 10-12Units

Community Building

28' Wide Townhome

24' Wide Townhome

22' Wide Townhome

20' Wide Townhome

18' Wide Townhome

BLOCKS C,D & E	
MULTI-FAMILY	
Manor Homes (9 Units/Buildings)	
Apartments over Retail	
Condos (3 Stories)	
Condos (4 Stories)	
2 over 2	
Charlestown	
Sub Total	
SINGLE FAMILY DETACHED	
32' Wide	14
40' Wide	21
50' Wide	1
50' Wide x 65' Deep	
60' Wide	
Sub Total	36
SINGLE FAMILY ATTACHED	
18' Wide	12
20' Wide (Rear Loaded)	11
22' Wide	24
24' Wide	13
26' Wide	
28' Wide	19
Sub Total	79
Total Residential Units	115













* See Page 34 for Complete Summary of Phases.

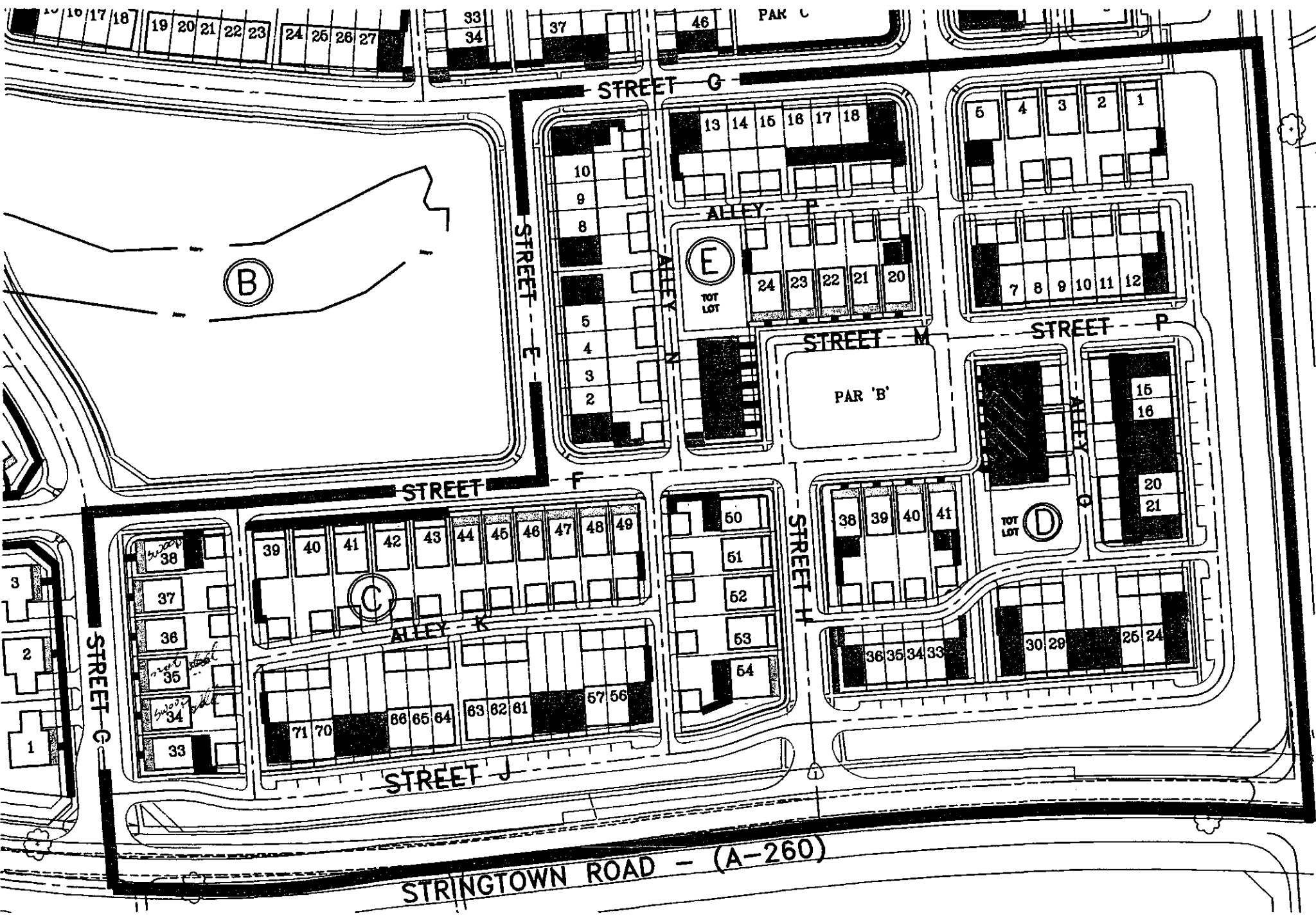
Highlighted area represents
Block Plan

Site Key Plan

Phase 1B - Blocks C,D & E

20

LOT DESIGN LEGEND					
Materials		Fencing		Attachments	
 Brick Home (Front & Sides)		 Brick Wall		 Porch	
 Hardi Plank Siding		 Wrought Iron Fence		 Fixed Garage Location	
 Brick Leadwalk		 Picket Fence		 Ground Level Decks	
		 Evergreen Hedge		 Screen Fences	
		 Park Fence			

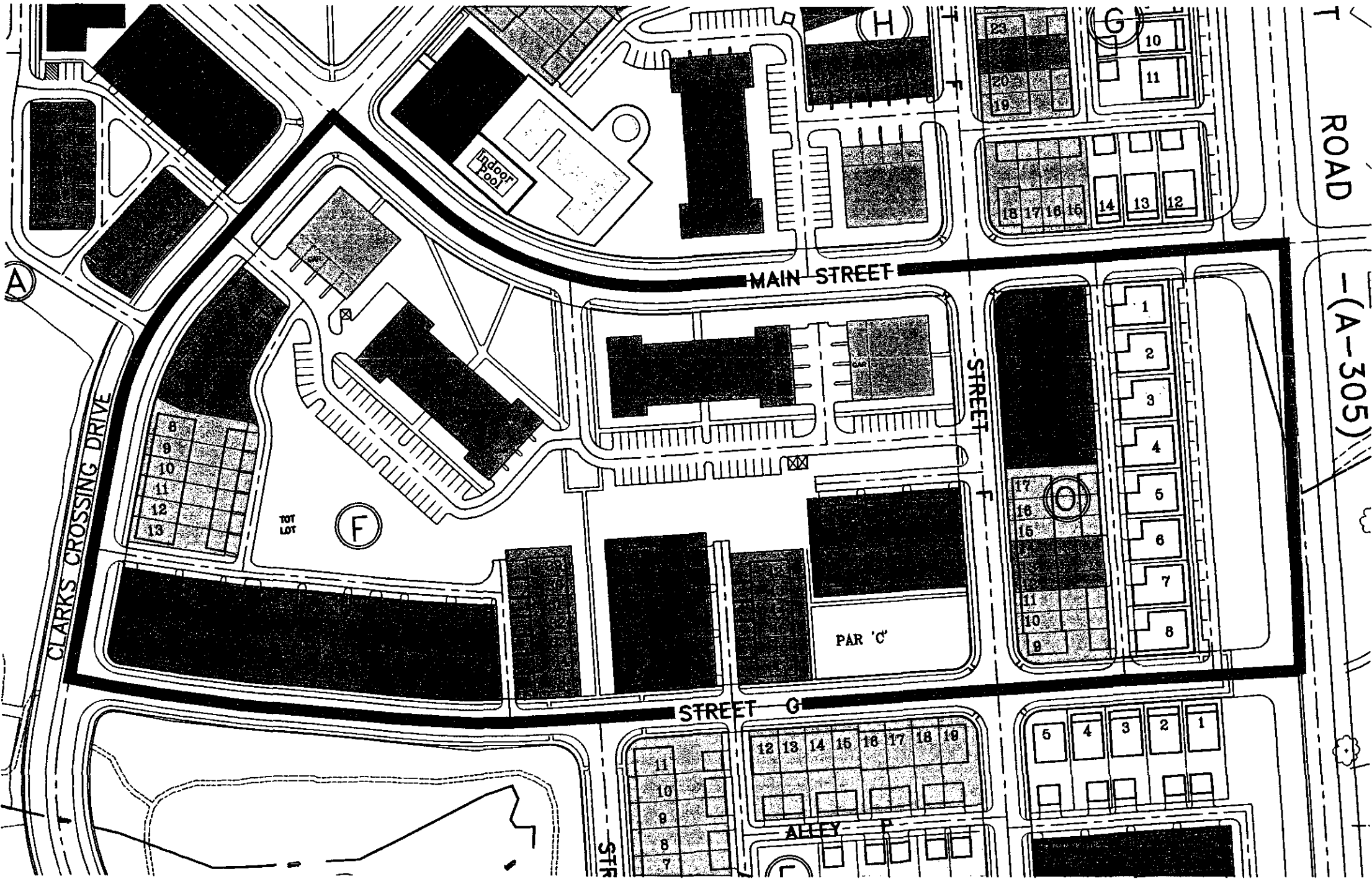
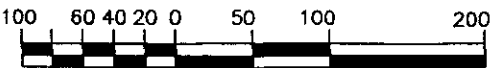


Phase 1B - Blocks C,D & E

Maximum Impervious Areas					
Lot #'s	Maximum Impervious Areas Allowed (SQ. FT.)	Lot #'s	Maximum Impervious Areas Allowed (SQ. FT.)		Maximum Impervious Areas Allowed (SQ. FT.)
Block D		39	2000	Block C	
1	2300	40	2000	33	2300
2	2300	41	2000	34	2300
3	2300	42	1750	35	2300
4	2300	43	1750	36	2300
5	2300	44	1750	37	2300
6	1750	45	1750	38	2300
7	1750	46	1750	39	2300
8	1750	Block E		40	2300
9	1750	1	1910	41	2300
10	1750	2	1910	42	2300
11	1750	3	1910	43	2300
12	1750	4	1910	44	2000
13	1750	5	1910	45	2000
14	1620	6	1910	46	2000
15	1620	7	1910	47	2000
16	1620	8	1910	48	2000
17	1370	9	1910	49	2000
18	1370	10	1910	50	2300
19	1370	11	1910	51	2300
20	1620	12	1910	52	2300
21	1620	13	1910	53	2300
22	1620	14	1910	54	2770
23	1620	15	1910	55	1620
24	1620	16	1910	56	1620
25	1620	17	1910	57	1620
26	1370	18	1910	58	1370
27	1370	19	1910	59	1370
28	1370	20	2000	60	1370
29	1620	21	2000	61	1620
30	1620	22	2000	62	1620
31	1620	23	2000	63	1620
32	1230	24	2300	64	1620
33	1230	25	1230	65	1620
34	1230	26	1230	66	1620
35	1230	27	1230	67	1370
36	1230	28	1230	68	1370
37	1230	29	1230	69	1370
38	2000			70	1620
				71	1620
				72	1620

* Impervious Areas (for Individual Lots) includes House, Garage, Driveway Off Alleys, Stoop, Leadwalk, Patio and Porch.

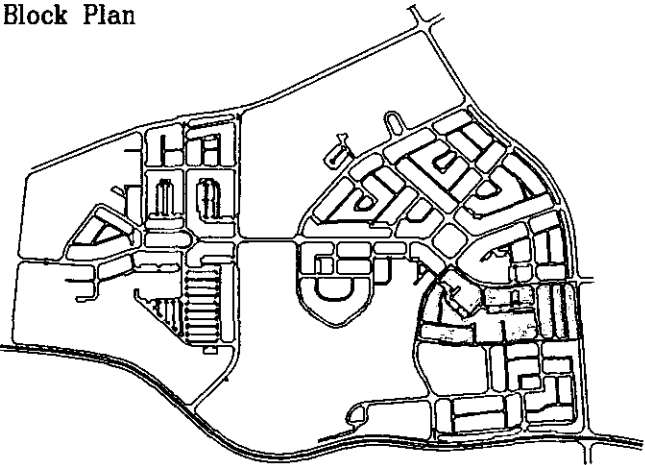
Housing Type Legend			
	32' Wide Single Family Lot		50'X60' Single Family Lot
	40' Wide Single Family Lot		Multi-Family 28-30 Units
	50' Wide Single Family Lot		Multi-Family 10-12 Units
	Community Building		22' Wide Townhome
	28' Wide Townhome		20' Wide Townhome
	24' Wide Townhome		18' Wide Townhome



BLOCKS F & O	
MULTI-FAMILY	
Manor Homes (9 Units/Buildings)	
Apartments over Retail	
Condos (3 Stories)	22
Condos (4 Stories)	58
2 over 2	
Charlestown	
Sub Total	80
SINGLE FAMILY DETACHED	
32' Wide	
40' Wide	
50' Wide	
50' Wide x 65' Deep	8
60' Wide	
Sub Total	8
SINGLE FAMILY ATTACHED	
18' Wide	3
20' Wide (Rear Loaded)	20
22' Wide	12
24' Wide	34
26' Wide	13
28' Wide	
Sub Total	69
Total Residential Units	157

* See Page 34 for Complete Summary of Phases.

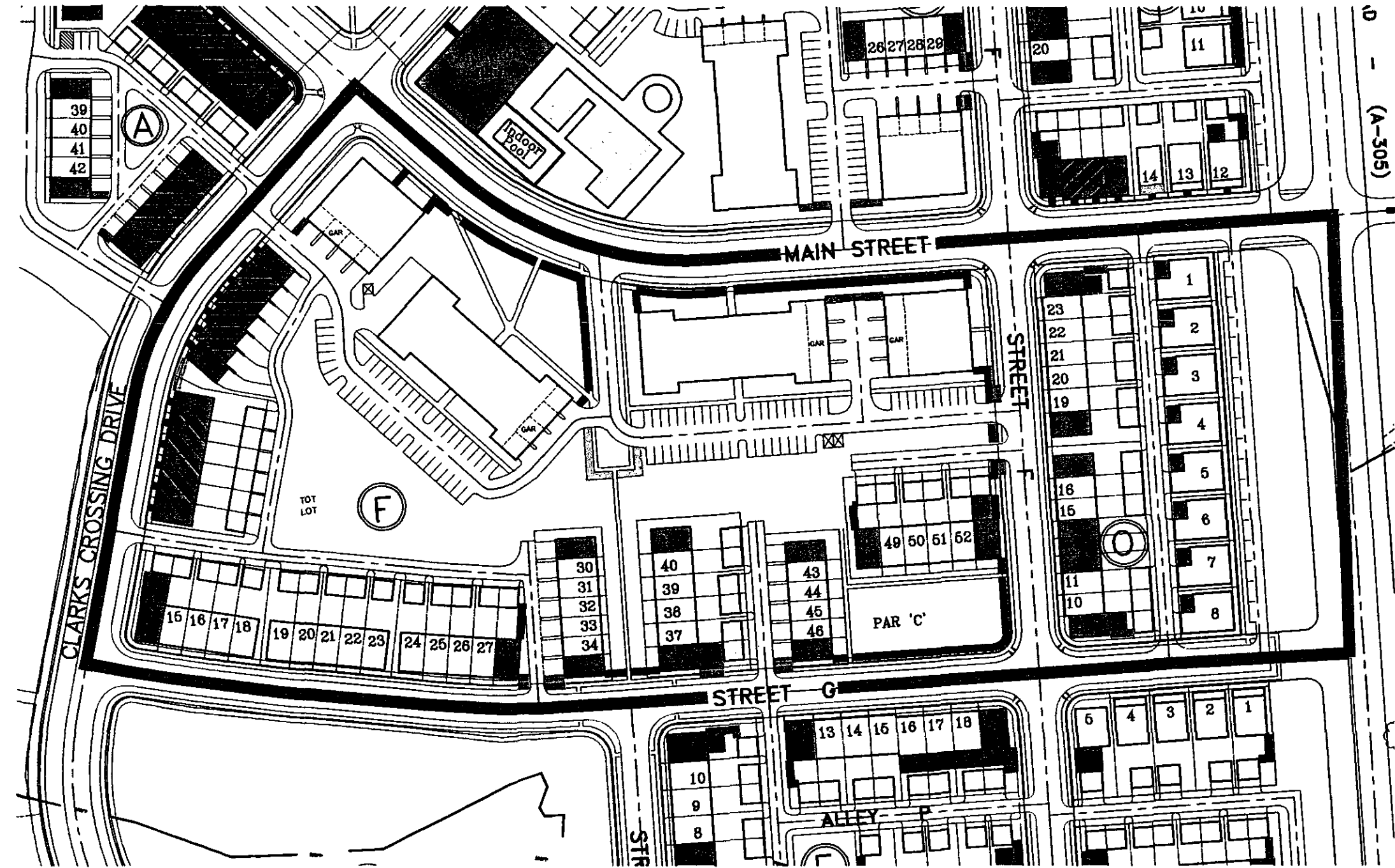
Highlighted area represents Block Plan



Site Key Plan

Phase 1B- Blocks F & O

LOT DESIGN LEGEND			
Materials	Fencing		Attachments
Brick Home (Front & Sides)	Brick Wall	Evergreen Hedge	Porch
Hardi Plank Siding	Wrought Iron Fence	Screen Fences	Fixed Garage Location
Brick Leadwalk	Picket Fence	Park Fence	Ground Level Decks



Phase 1B- Blocks F & O

Maximum Impervious Areas			
Lot #'s	Maximum Impervious Areas Allowed (SQ. FT.)	Lot #'s	Maximum Impervious Areas Allowed (SQ. FT.)
Block F		39	1750
1	1230	40	1750
2	1230	41	1750
3	1230	42	1230
4	1230	43	1230
5	1230	44	1230
6	1230	45	1230
7	1230	46	1230
8	1620	47	1230
9	1620	48	1750
10	1620	49	1750
11	1620	50	1750
12	1620	51	1750
13	1620	52	1750
14	1750	53	1750
15	1750	Block O	
16	1750	1	2520
17	1750	2	2520
18	1750	3	2520
19	1750	4	2520
20	1750	5	2520
21	1750	6	2520
22	1750	7	2520
23	1750	8	2520
24	1750	9	1620
25	1750	10	1620
26	1750	11	1620
27	1750	12	1230
28	1750	13	1230
29	1230	14	1230
30	1230	15	1620
31	1230	16	1620
32	1230	17	1620
33	1230	18	1750
34	1230	19	1750
35	1230	20	1750
36	1750	21	1750
37	1750	22	1750
38	1750	23	1750
Multi-Family		24	1750

* Impervious Areas (for Individual Lots) includes House, Garage, Driveway Off Alleys, Stoop, Leadwalk, Patio and Porch.

Housing Types	Summary Phase 1A										Summary Phase 1B							Summary Phase 2														Totals		
	SECTION 1			SECTION 2							Sub-Total	SEC.1	SEC.2			SEC.3		Sub-Total															Sub-Total	
	AA	BB	CC	CC	DD	EE	FF	GG	HH				A	C	D	E			O	F	A	G	H	J	K	L	M	N	R	S				T
SINGLE FAMILY DETACHED																																		
32' Wide					3					3		6	4	4			14		1	1	6		1	1	12	6			28	45				
40' Wide					5				4	9		15	5	1			21		8		5	9	1	8	14	9	5		59	89				
50' Wide				1					2	3		1				1			5	1	9	7		10	2	3		37	41					
50' Wide x 65' Deep															8		8						10	5				15	23					
60'+ Wide				5						5	23						23	15										15	43					
Sub Total				6	8				6	20	23	22	9	5	8		67	15	14	2	20	16	2	29	33	18	5		154	241				
SINGLE FAMILY ATTACHED																																		
18' Wide		2	8		4				4	18		6	6		3		15		4	4	10	2		7			4	31	64					
20' Wide (Rear Loaded)	11		5		13					29			6	5		20	31	12		12		7						36	84					
22' Wide		4	18		8				6	36		12	12		6	6	36		10	12	23		5	18			7	55	154					
24' Wide	11	14							7	32			13		7	27	47	21					8	7	19				134					
26' Wide																																		
28' Wide	7									7				19			19									9	8	17	43					
Sub Total	29	20	31		25				17	122		18	37	24	16	53	148	33	14	28	33	9	13	32	19	9		19	209	479				
MULTI-FAMILY																																		
Manor Homes	9		9							18								9			9		9	9			9		45	63				
Apartments over Retail																																		
Condos (3 Stories)																22	22			10								10	32					
Condos (4 Stories)																55	55			30								30	85					
Brownstones					8					8								16					22			10		48	56					
Sub Total	9		9		8		344			370						77	77	25		40	9		9	31			19		133	580				
Total Residential Units	38	20	40	6	41		344		23	512	23	40	46	29	24	130	292	73	28	70	62	25	24	92	52	27	24	19	496	1300				

A Single Family Home is a detached residence on it's own lot. There are several lot sizes for the various types of houses.

Diagram 1. General example of a group of single family houses. In this example the lots are radial to the streets and alleys. The minimum setback requirements may be applied in a similar way with most single family lot conditions. The detached garages are accessed through the rear alleys. The setback requirements are similar however they may vary due to certain topographic or design conditions when specified.

Diagram 2. Represents an enlarged detail for most of the setback conditions for these houses and detached garages. The setback requirements for these lot sizes may vary from 6' minimum. to 18' maximum.

Diagram 3. Represents setback requirements for attached garages with 60' ft. deep lots sizes.

Diagram 4. Is a detailed analysis of setback requirements in relationship to lot width's.

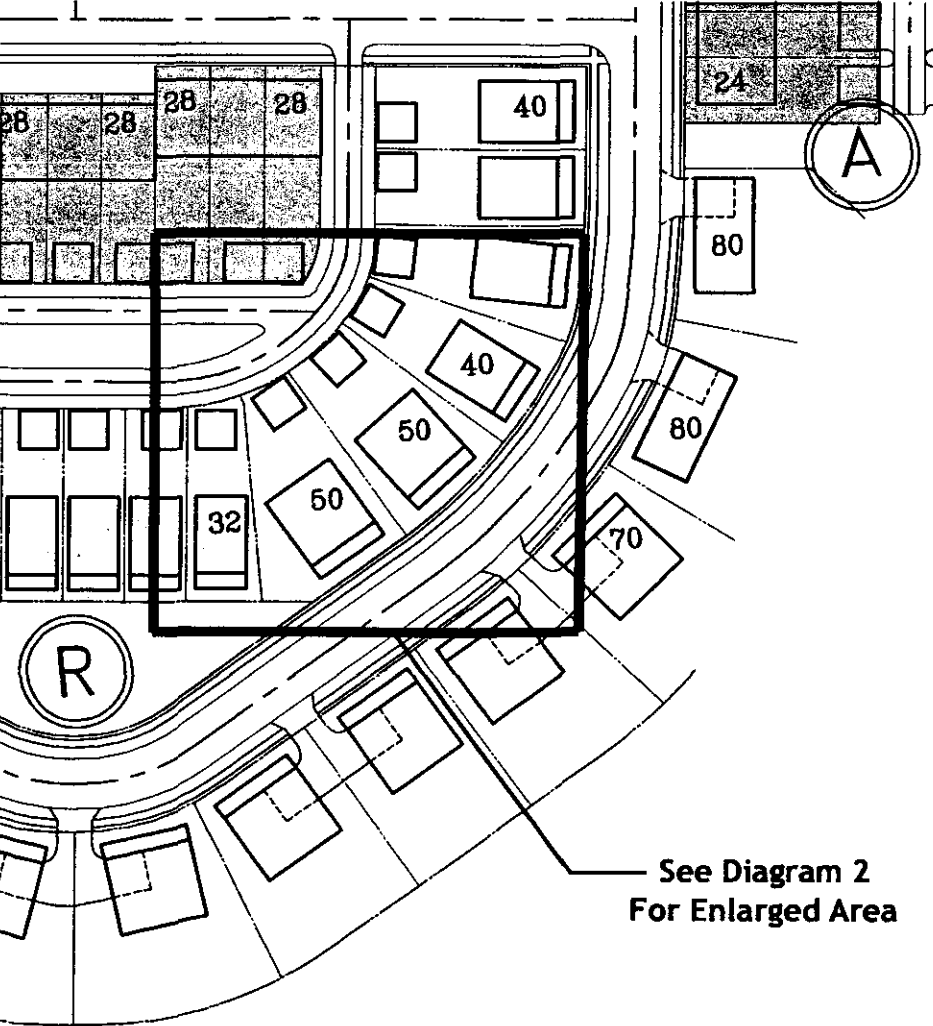


Diagram 1. General Examples

Lot Depth is generally 100' deep, except for the 48/50' (Intergrated Garage Homes). For all the other single family lots the setback to the principal face of the building to the front lot line is between 6' & 18' feet. The lot setbacks from one adjacent house to the next adjacent house is between 8' & 12' ft. for all lots greater than 40' in width.

A Garage is provided at the rear of houses and is mainly accessed from the rear alley except when otherwise specified. A garage may be a maximum of 60% of the width of the principle building. A garage may not exceed 500 sq. ft.in footprint and is permitted in the rear yard. The garage may be a maximum of two stories in height.

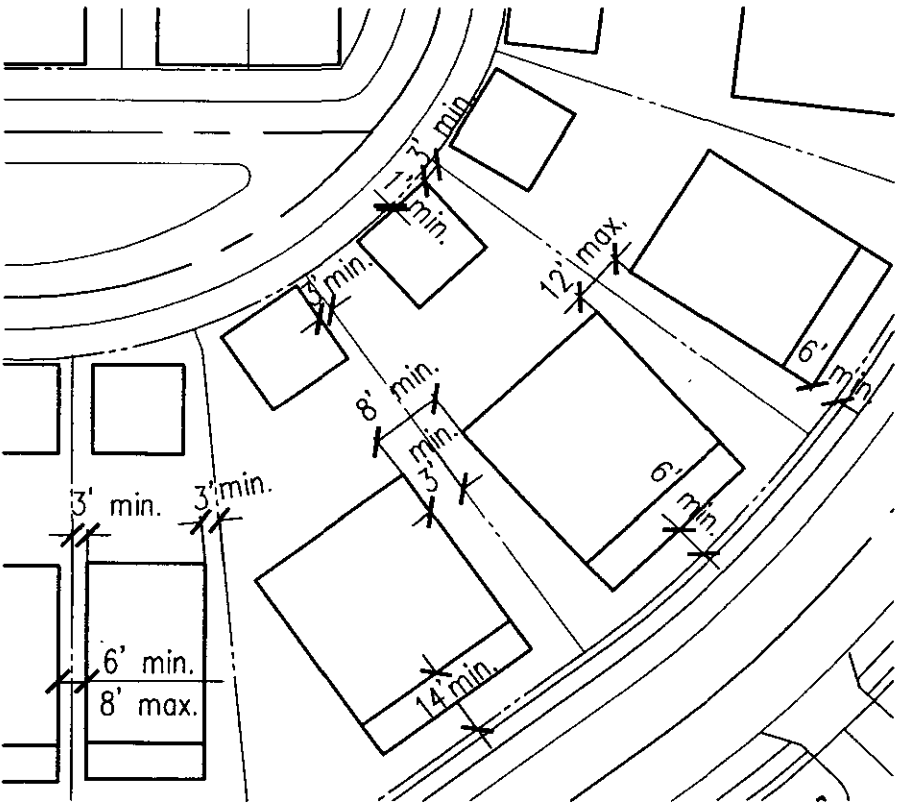


Diagram 2. Setback Requirements for Detached Garage.

Housing Type Legend

- 32' Wide Single Family Lot
- 40' Wide Single Family Lot
- 50' Wide Single Family Lot
- 60'+ Wide Single Family Lot
- 48'/50' X 60' Single Family Lot

Single Family Homes

Setback Requirements

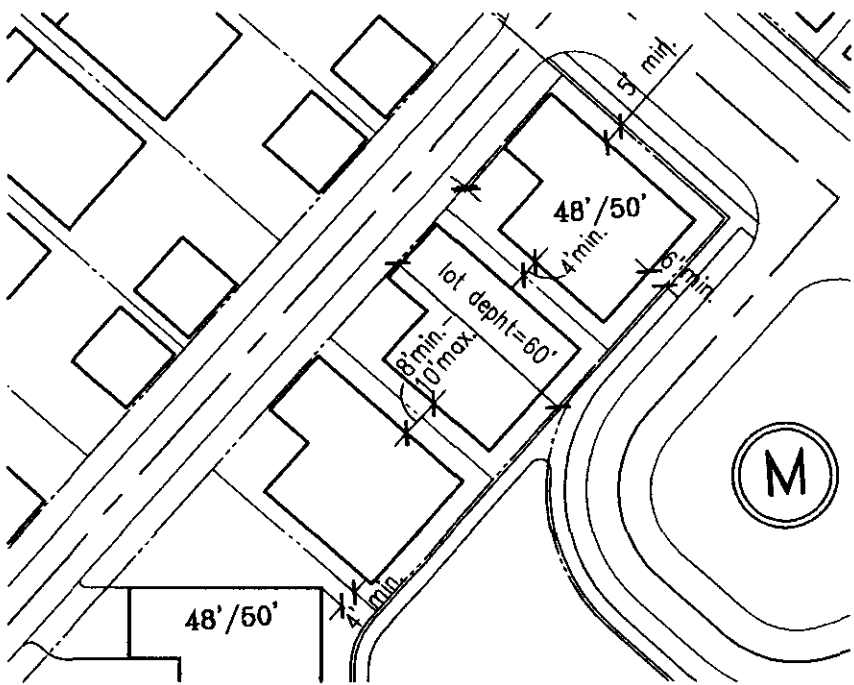


Diagram 3. Setback Requirements for Attached Garage.

Lot Width's 32',40',50' & 60'+	* Garage Front Loaded	Garage Alley Loaded
Lot Coverage	See Impervious Calculation	See Impervious Calculation
Setbacks		
Building Front	6' ft. min -16' ft. max.	6' ft. min.- 16' max.
Building Rear	20' ft. min.	20' ft min.
Building Side	3' ft. min.	3' ft. min.
Building Frontage At Setback		
Height Max.		
Principal Building	2.5 Stories max.	2.5 Stories
First Floor Above Grade	4' ft. max.	4' ft min.
Garage Setback Requirements		
Setbacks		
From Front Face Of House	20'	
Rear		1' min. 12' ft max.
Garage Side		0' ft./3' ft min
Height Max. of Garage or Outbuilding		2 Stories

4. Table of Setback Requirements.

* Front Loaded Garages Are Limited Only To The Areas Shown On There Approved Site Plan.

A **Townhome** is a single attached residence attached to and divided from each other by a vertical party wall on it's own lot. There are several types of Town houses with various lot sizes.

Diagram 1. Is a general example of the various types of town house and garage configuration. The attached and detached garages are accessed through the rear alleys. The setback requirements are similar, however they may vary due to certain topographic or design conditions when specified.

Diagram 2. Represents a typical detail for most of the setback conditions for each town house. The setback requirements for the Townhomes may vary from 6' min. to a 10' max.

Diagram 3. Is a detailed analysis of setback requirements and the relationship of lot width's.

Lot depth varies between 90' to 100' deep, except for 20' wide, rear loaded Townhomes. For all the other Townhome lots the setback to the principal face of the building to the front lot line is between 6' & 12' ft. The setbacks from the end row of one adjacent town house to another end row adjacent town house is 12' minimum.

A **Garage** is provided at the rear of houses and is mainly accessed from the rear alley except when otherwise specified. A garage may be a maximum of 60% of the width of the principle building. A garage may not exceed 500 sq. ft.in footprint and is permitted in the rear yard. The garage may be a maximum of two stories in height.

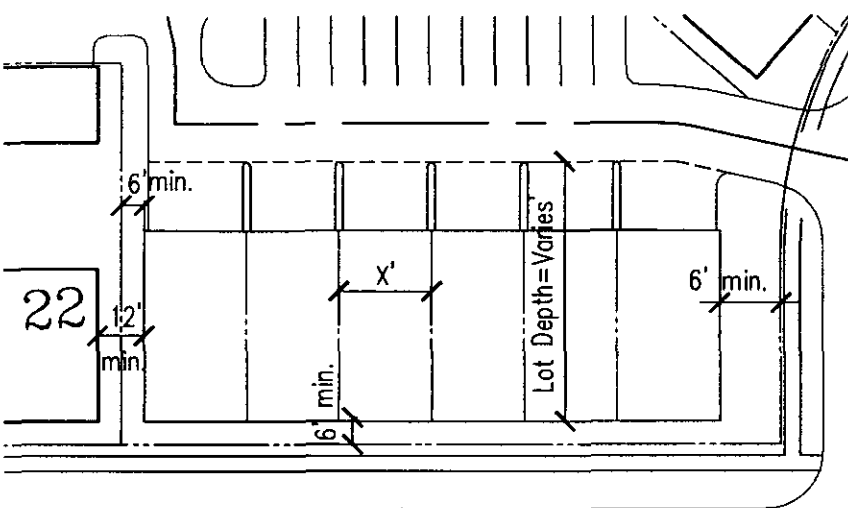


Diagram 3. Setback Requirements for Townhomes With Attached Garages. (x=Width of Townhome).

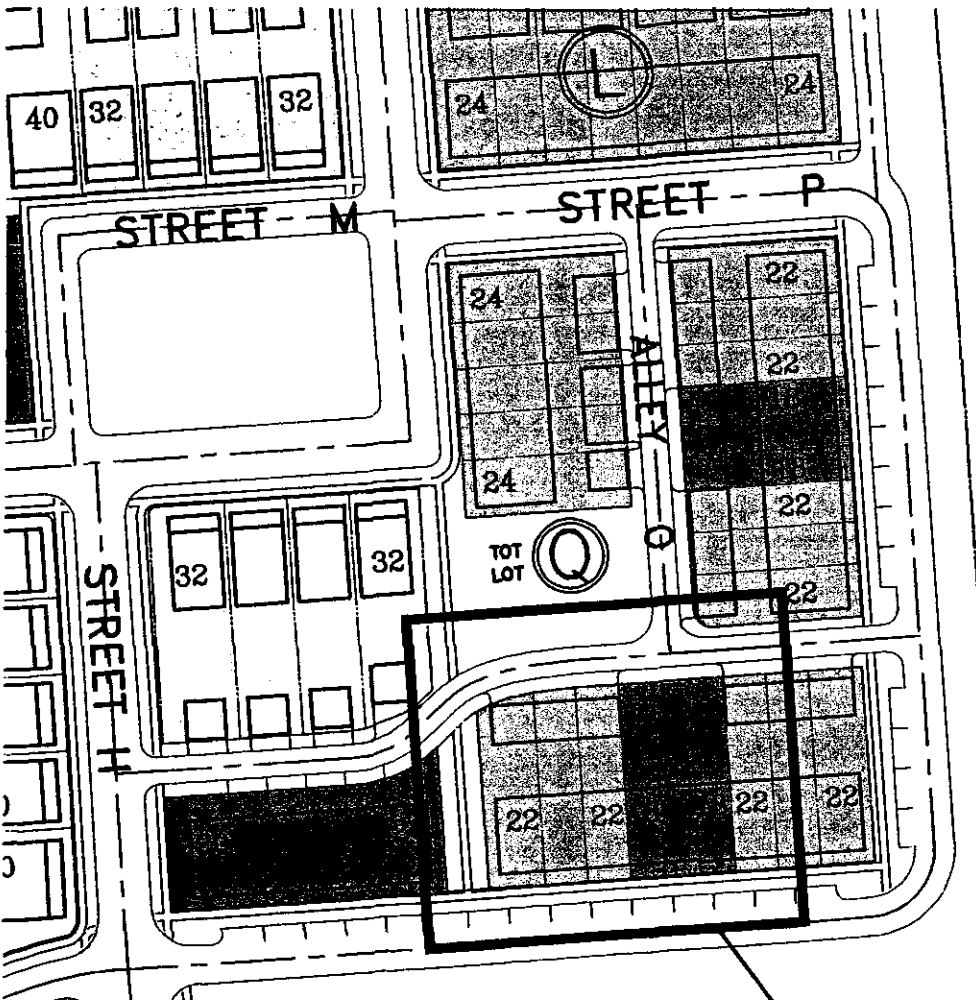


Diagram 1. General Example 18' & 22' Wide Lot.. See Diagram 2. for Enlarged Area

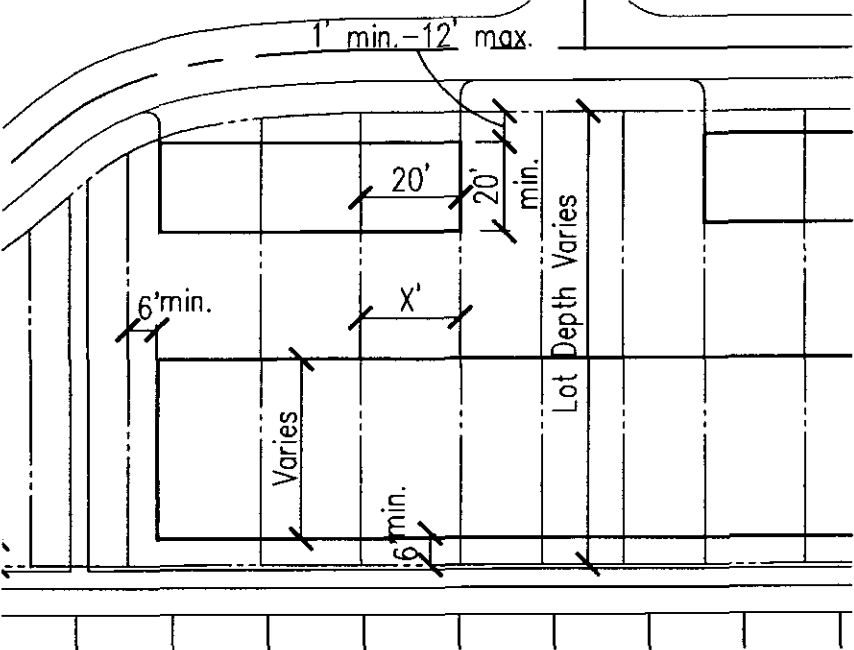


Diagram 2. Setback Requirements for Townhome With Detached Garage. (x=Width of Townhome).

Housing Type Legend

- 28' Wide Townhome
- 24' Wide Townhome
- 22' Wide Townhome
- 20' Wide Townhome
- 18' Wide Townhome

Townhomes

Townhomes	Intergrated Rear Loaded Garage Townhomes	Detached Garage
Setbacks	See Impervious Calculations	See Impervious Calculations
Building Front	6' ft.-10'ft.	6' ft. min -10' ft. max.
Building Rear	6' ft min.	20' ft. min.
Building Side	0' ft./6' ft. min.	0' ft. min.
Encroachments		
Building Front		
Building Side		
Height Max.		
Principal Building	3 Stories	3 stories
First Floor Above Grade	6'-8" ft	6'-8" ft.
Garage Setback Requirements		
Setbacks		
Rear	6' min.- 20' max.	1' ft. min. - 14' ft. max.
Garage Side	0' ft. min.	0' ft. /3' ft. min.
Maximum Height		
Garage or Outbuilding	N/A	2 Stories

Diagram 4. Table of Setback Requirements.

A Multi-Family Home is a building containing a group of 2 or more dwellings occupying a parcel of land in one ownership. There may be one or more entrances into the building. There are various types of multi-family homes.

Diagram 1. shows a typical configuration of multi-family homes, commonly known as Brownstones and Manor Homes. The diagram shows a typical configurations along Main Street.

Diagram 2. Represents a typical configuration for a Manor Home and how the setback requirements for this condition is meet. The setback requirements for the the Manor Homes and Brownstones varies Between 12' and 20'.

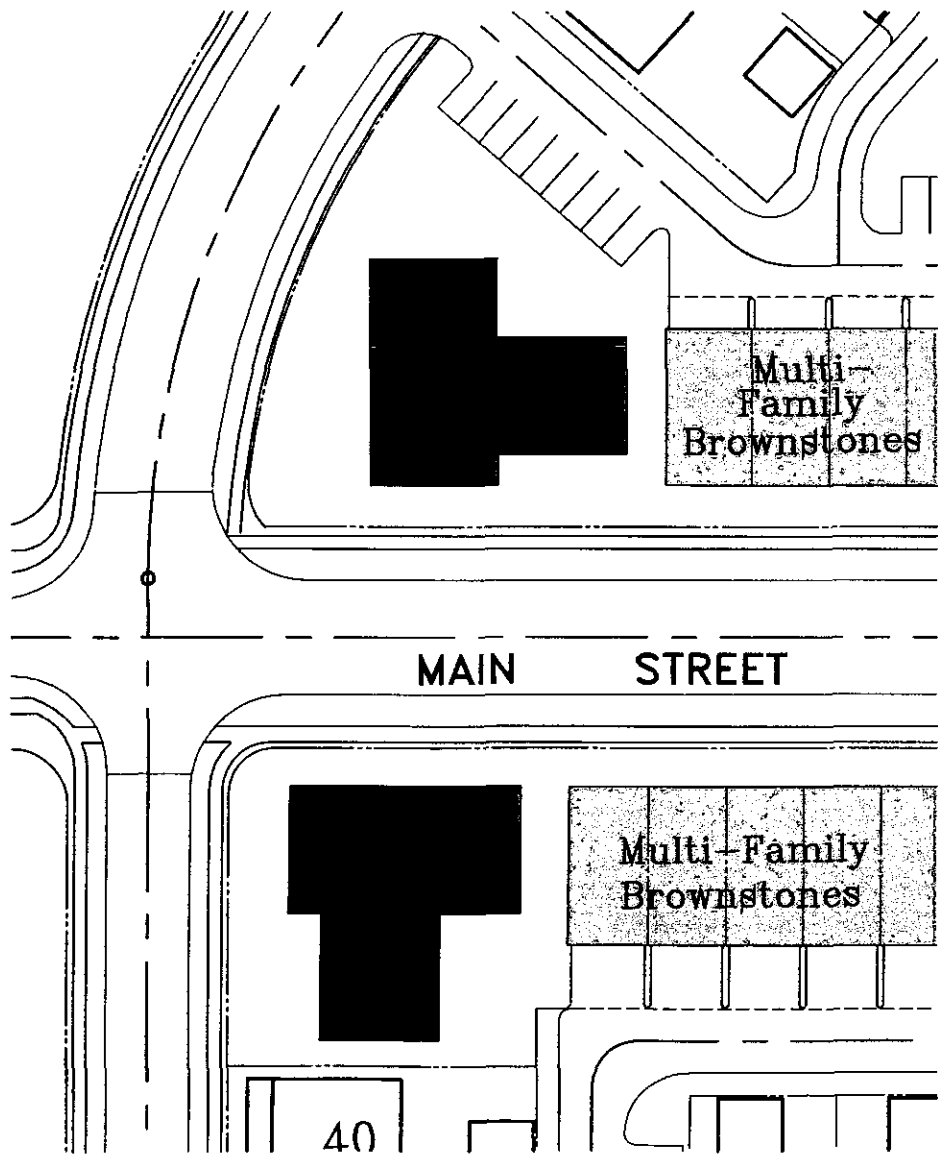


Diagram 1. General Conditions For Manor Homes And Brownstones.

Lot Depth varies depending on type and configuration. The set back to the principal face of the building to the front lot line is 12' minimum. The lot setbacks from any adjacent houses to the sides of the Manor Homes is 12' minimum.

Diagrams 3. Represents setback requirements for an alter-native multi-family residence. The setback for the principal face of the building to the front lot line is 20' minimum. The lot setbacks from any adjacent residence to the sides of the another residence shall be a minimum 30'. The same require-ments are applicable for a larger multi-family structure.

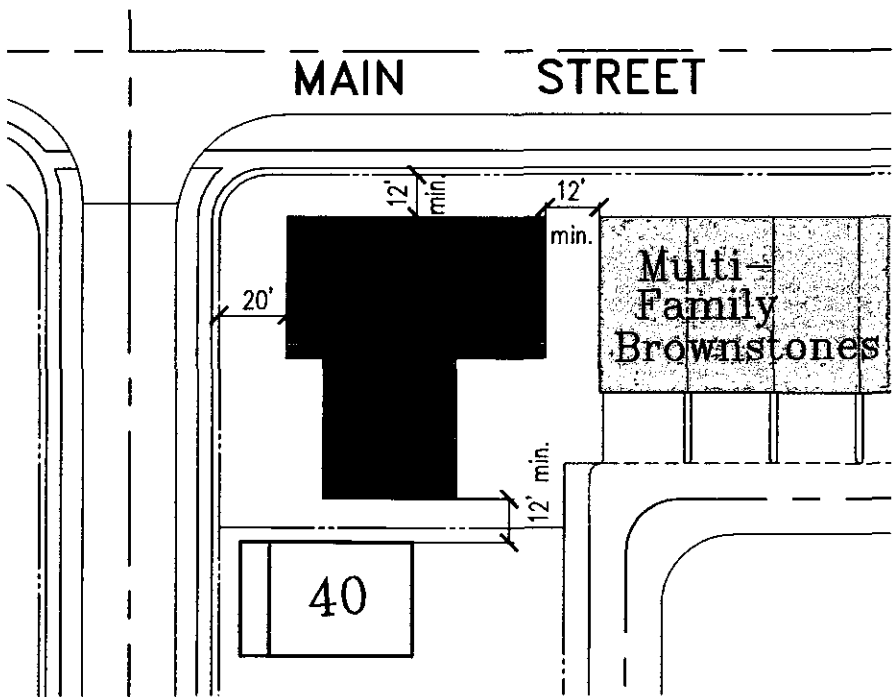


Diagram 2. Shows Setback Requirements For Manor Homes & 2 Over 2 Homes.

Housing Type Legend

- Manor Homes
- Brownstones
- Multi-Family 10 Units
- Multi-Family 28 Units

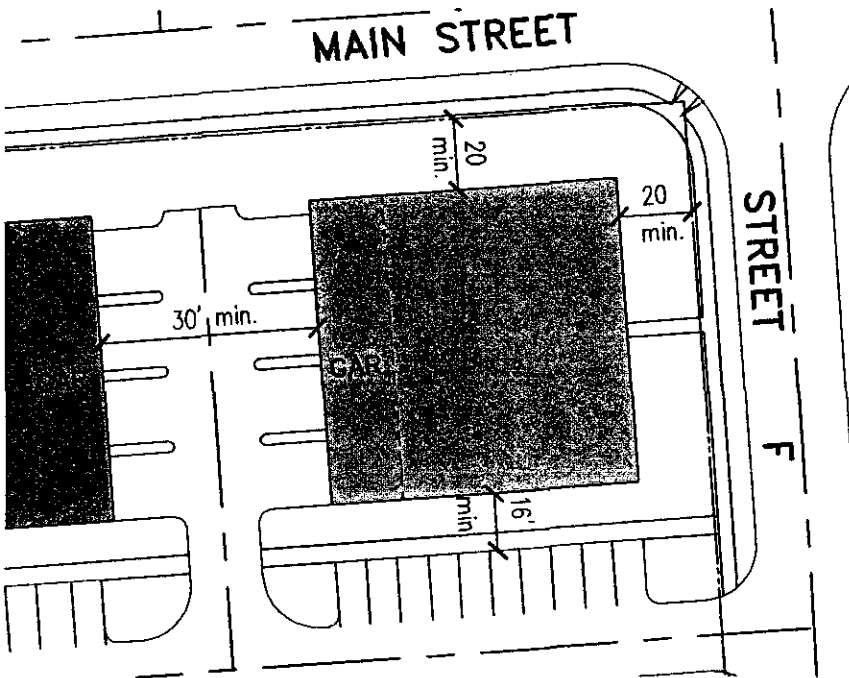


Diagram 3. Shows Setback Requirements For 10 Unit, 28 Unit Multi-Family Residences.

Lot Width's Multi-Family	Brownstones	Other Multi-Family
Lot Coverage	See Impervious Calculations	See Impervious Calculations
Setbacks		
Building Front	12' ft. min.	
Building Rear	6' ft. min.	20' ft. min
Building Side To Side	12' ft. min.	20' ft. min.
		40' ft. min.
Maximum Height	4 Stories	
		See Site Plan For actual Height

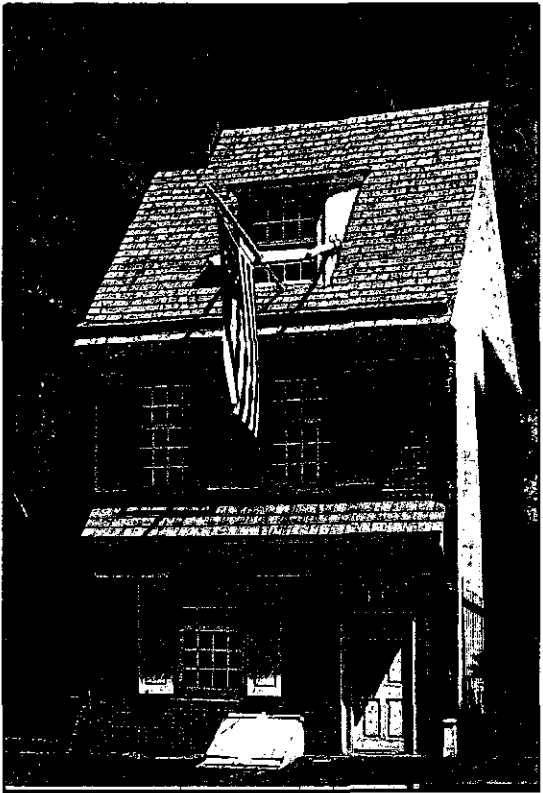
4. Table Of Setback Requirements.

GENERAL

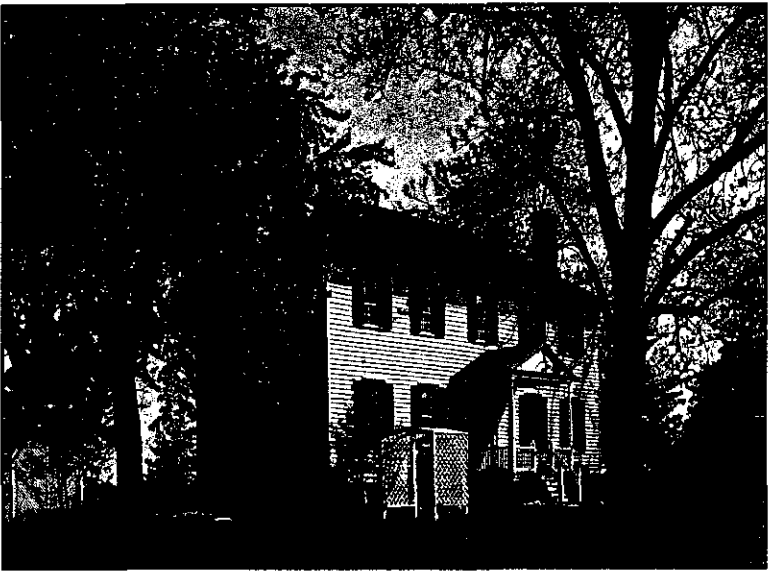
1. Exterior building walls may be constructed of brick, stone, wood siding, vinyl siding, masonry siding or stucco with a smooth finish.
2. Exterior front and side walls of all Townhomes shall be constructed with brick or siding materials, except for foundation walls. Rear walls of Townhouse types may be constructed of siding. There must be at least one three dimensional trim element used when facades are treated with siding (i.e. porch, patios, gable, dormer, etc.)
3. Foundation walls of any residential building facing a street shall be veneered in a traditional masonry material. Brick or stone shall be provided to a height of no less than the top first floor joist. *— Dale is this water table, or or above the front door?*
4. Foundation walls not facing a street shall be constructed of brick, stone, or concrete pressed with a brick pattern. If concrete foundations are used, the portion of the foundation shall be veneered to a height equal to the top of the first floor joist. A maximum of 18" of exposed foundation is permitted.
5. Vertical corner boards shall be no less than 6" wide in both directions or 4" on homes with brick or masonry veneer on front elevations.
6. All trim used with siding shall be a minimum of 5/4" thick.
7. Street facades of all buildings (included MPDU'S) shall be made of the same material and detail.
8. No more than two surface materials shall be used on any one facade of the Manor Homes and Multi-Family Homes.
9. A maximum of three different colors shall be used on all of the buildings on a single lot: one base color and one complementing or contrasting trim color (excluding shutters which can be either black, dark green, burgundy, or dark gray) and one entry door color.
10. All building materials and colors must be submitted for approval to the Town Architect prior to the submittal of the building permit to Montgomery County.

BRICK

1. Brick shall be coursed in horizontal running bond, common bond or Flemish bond. Bonding variations are permitted. Accent patterns shall be used at sills, lintels, chimneys, etc. All windows must be treated and done so to replicate historic methods.
2. Brick used on a front facade only must return to the side facade a minimum of 24" unless terminated on a porch or other similar condition.
3. Stone used on a front facade must return to the side facade a minimum of 24" unless terminated on a porch or other similar condition.
4. On all sides of the Manor Homes/ Multi-Family Buildings, a significant brick base shall be provided that meets the grade around the house. The brick base must be designed to appear as a water table.
5. Traditional dark colored brick is encouraged.



Philadelphia, PA



Weston Manor, Hopewell, VA

SIDING

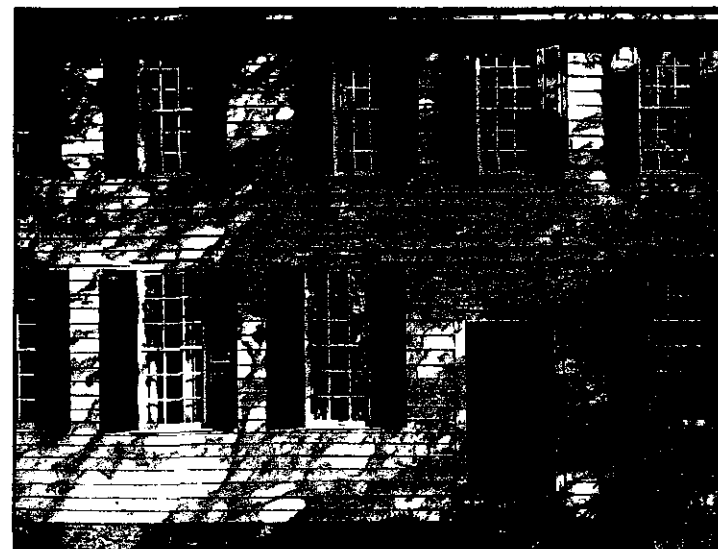
1. The following vinyl siding products are permitted: Southern Beaded or Restoration Classic 45, Certainteed: Carolina Beaded or Monogram, Wolverine Technologies Co. No aluminium products are permitted.
2. All joints in siding must be painted or caulked.
3. All siding shall be arranged 4" to 8" to the weather.
4. Siding may be lapped, Dutch-lapped, or on Colonial Revival buildings, beaded. The use of exterior shingles are encouraged where appropriate.

WINDOWS

1. Windows shall be constructed of wood, vinyl-clad wood or metal. Window shutters shall be made of wood or vinyl with louvers or raised panels.
2. Windows that are square or rectangular in configuration and vertical in orientation shall have a proportion of 1:2, or 2:3. Accent windows may be circular, half round or elliptical. Quarter round windows may be used in pairs flanking another architectural feature.
3. Window lites shall be square or vertical in proportion and shall be in one of the following configurations: 6 over 6, 4 over 6, 6 over 1, 4 over 1, 3 over 1, 2 over 1, 2 over 2, 4 over 1, or 9 over 1.
4. Real or snap-in muntins are permitted when they are on both the interior and exterior of the glass. The Town Architect on a case-by-case basis may permit other muntins. Maximum width of muntins shall be 7/8".
5. Bay windows on a first floor shall extend to the ground or be supported by architectural brackets.
6. Skylights shall be located on the backside of the roof ridge.
7. All building openings shall be surrounded by trim a minimum of 4" wide on all walls constructed of siding.
8. Windows are required on all elevations.
9. Windows shall be single, double or triple-hung.



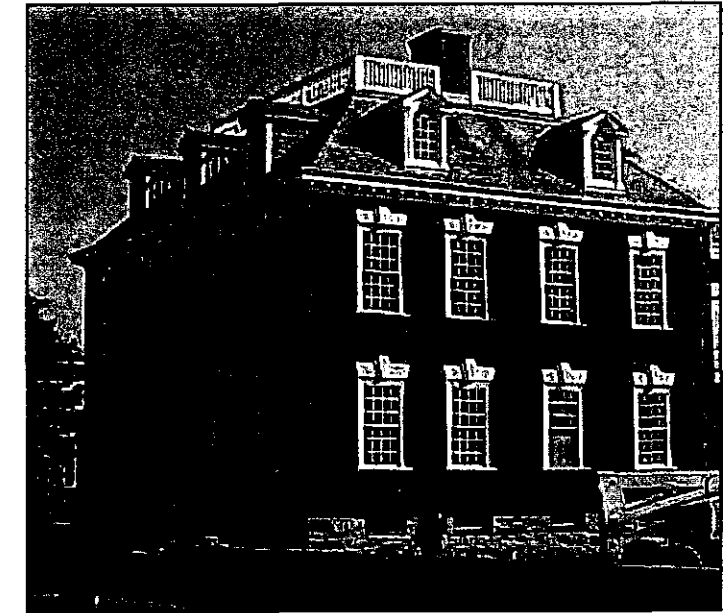
Upsala, MA



Bath, NC



Philadelphia, PA



Chestertown, MD

10. Windows, openings and window sashes shall be rectangular with a vertical or square proportion. The centerline of windows shall align vertically. The centerline of the window shall align within the centerline of the wall (no flush mounted windows).
11. Accent windows may be permitted at gable ends.
12. Bay windows shall have no less than 3 sides and shall extend to the floor inside and to the ground outside, or be visually supported by brackets.
13. Upper story openings shall be centered above lower story openings. Openings in gabled ends must be centered.

DOORS

1. Doors may be constructed of wood, metal clad or wood veneer fiberglass.
2. Residential garage doors shall be made of wood embossed hardboard or wood veneer. Fenestration is permitted.

SHUTTERS

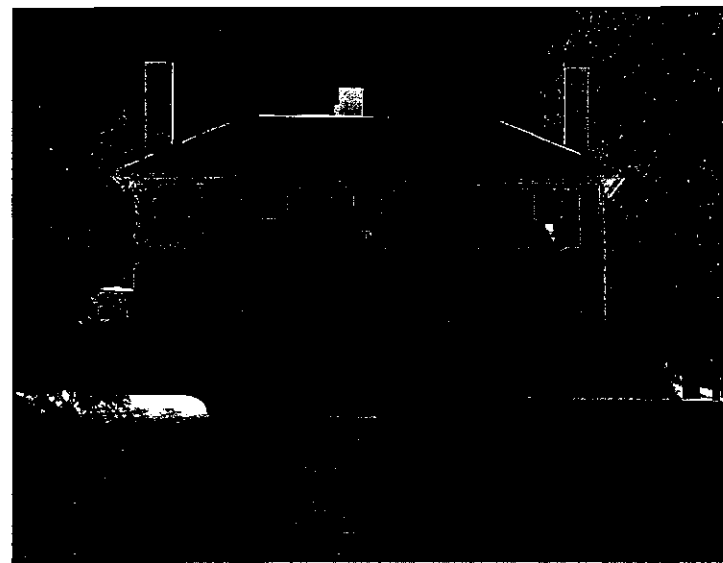
1. Shutters shall be operable or appear to be operated with hardware and shall be of sufficient size to cover the entire window if both sides are closed.
2. Shutters shall be applied to all or none of the windows of the main building.

ROOFS

1. Roofs shall be constructed of one of the following materials: standing seam steel, cedar shakes, or pre-approved asphalt shingles. Copper accents shall be permitted.
2. Asphalted roofing materials shall be "Architectural Quality" and be approved by the Town Architect.
3. Roof colors shall be silver, dark gray, black, red or green so as to duplicate painted tin or aged copper.
4. Roof configurations shall be symmetrical and simple. Pitches shall range from 8:12 to 14:12 and shall be arranged in a hip, gable or gambrel configuration.
5. All roofs shall overhang the adjacent facade a minimum of 1' - 0" and a maximum of 2' - 6". Roof overhangs may encroach into any required yard setback (but not property lines). In the event that the overhang exceeds 16", the overhang must appear to be supported by a series of brackets or supports.
6. Flat roofs shall be edged in a parapet when used as an exterior deck and accessed from the interior of the main building.
7. Flat roofs are permitted over entry porticos and porches but must be accompanied by an architectural cornice a minimum of 2' - 0" in height.
8. Shed roofs are permitted when used as a secondary roof set against the wall of the main building. The pitch is limited to 4:12 to 12:12.
9. Steel standing seam roofs shall be painted, galvanized or prefinished.



Kentlands (Gaithersburg, MD)



Orford, NH



Tuckahoe, VA

CHIMNEYS

1. Chimneys shall be constructed of brick or local precast stone in conditions where the chimney is visible from any street or public space.
2. Chimney flues shall be constructed of tile or metal.
3. Chimneys shall extend to the ground, have a corbelled cap (no more than 5 courses) and either project from the wall or be flush with the wall and exposed at the ground floor and above the roof only.
4. All roof flues and vents shall be painted to match adjacent roof elements.

GUTTERS

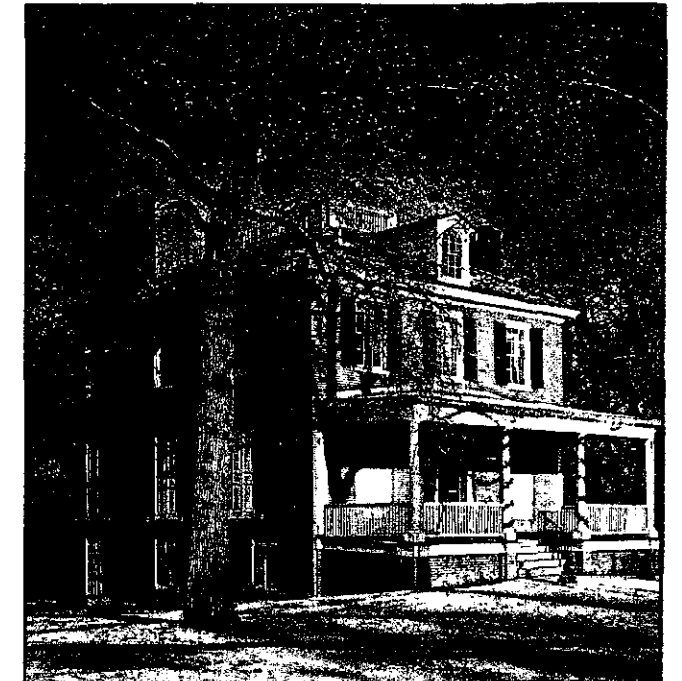
1. Gutters shall be constructed of steel, copper, or galvanized metal.
2. Gutters shall be painted to match the color of the main building or the color of the trim.
3. All gutters shall be set against trim a minimum of 6" wider than the gutter itself.

GENERAL

1. Piers and columns shall be made of brick, pre-cast concrete, wood or concrete block or finished in stucco.
2. Railings shall be made of wood, steel or wrought iron.
3. All exterior stairs leading from the sidewalk to the building shall be made of brick. Stairs leading to wood steps may be made of wood.
4. Wrought iron or steel railings shall be painted black.
5. All risers, railings and trim for all porches shall be painted. Wood treads may be left unpainted.
6. Piers and columns must be a minimum of 12" wide.
7. All arches shall be a minimum of 12" wide on the inside surface.



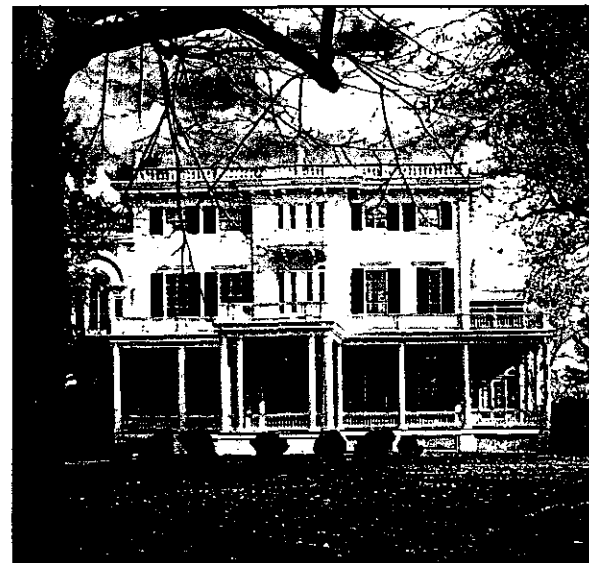
Philadelphia, PA



Woodford, PA



Chestertown, MD



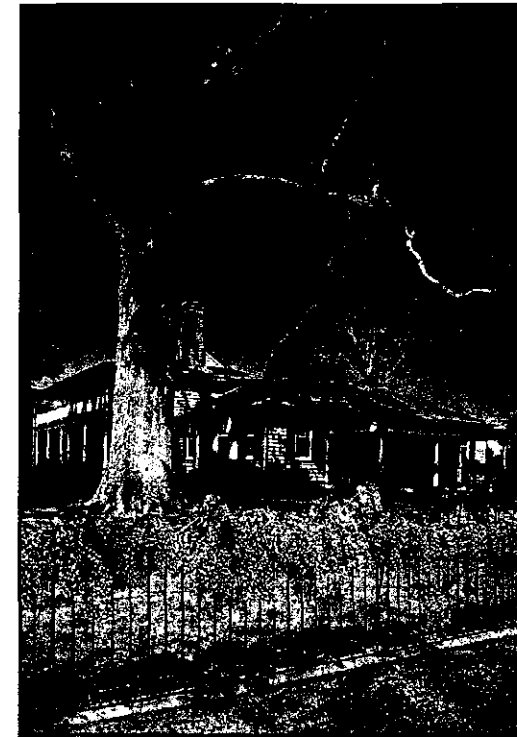
Philadelphia, PA

COLUMNS

1. Columns shall be made of wood, pre-cast concrete, or other materials so as to duplicate real wood.
2. Architectural elements such as columns, pilasters, cornices and piers shall be either the Doric or Tuscan order unless otherwise approved.
3. Multiple columns may be combined to create the appearance of one whole column.
4. All columns and piers constructed of wood shall be painted to match the trim of the house.

FENCES – GENERAL

1. All single family homes on lots greater than 40' in width and those areas indicated on the plans must have fencing along the front and rear lot lines of the property. Some areas along framework streets are required to have metal fences.
2. Wood fences shall be painted white or stained white with an opaque stain. Metal fences shall be painted or powder coated gloss or semi-gloss black.
3. Front and side yard fence designs shall be selected from the designs herein. Variations of these designs may be approved by the Town Architect.
4. All fences must have finished fence post tops or caps.
5. Gates shall be constructed of designs and materials to match adjoining fences. Gate hardware should be substantial, rust resistant, and have a black, brass, or bronze metal finish. Gates should also swing into the property and not out onto the sidewalk.



Edenton, NC



Litchfield, CT



Philadelphia, PA

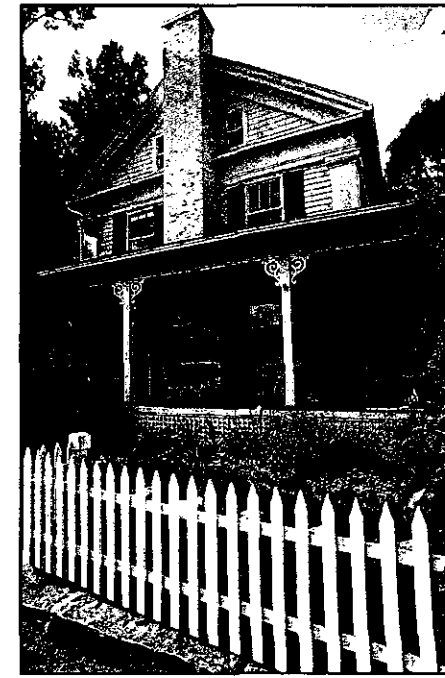
6. Front yards that have wood or metal picket fences which shall not exceed forty-two inches (42") in height.
7. Side yards along side streets and public walkways shall have wood or metal picket fences the same as if they were front yards, or may have screen fences up to a 42" height. See the designs provided on the following pages.
8. Rear yards may have screen fences a minimum of forty-two inches (42") in height and not exceeding six feet (6'-0") in height. These screen fences shall be constructed of wood and shall be of board against board construction. Rear yards may also be enclosed by the same wood picket fences used in front yards, not exceeding forty-two inches (42").
9. Fences shall be placed at the lot line to maintain street continuity.
10. Fences located on slopes 10% or less may either run with the slope or be stepped with the slope. Stepped fences should be stepped in equal increments along consistent slopes. For slopes exceeding 10%, fences shall be run with the slope by means of a sloped frame.
11. Vinyl/plastic fences, and paneled materials are not permitted.

WALLS

1. Garden walls shall be made of brick, Maryland Stone such as Silver lake strip or Emmisborg Brown and shall be compatible with the main building. Fence shall be built of wood.
2. When a building façade and its side yard face a street, garden walls shall be compatible with same material of the main building.
3. Detached Garages on corner lots require a garden wall to complete the edge between Garage and Main building.
4. Garden walls and fences, except "picket" fences in the side yard shall be a minimum of 30" high and a maximum of 5' - 6" high.
5. Garden walls or fences shall be placed at the rear lot line and side lot lines to maintain street continuity, unless otherwise noted.

FENCING

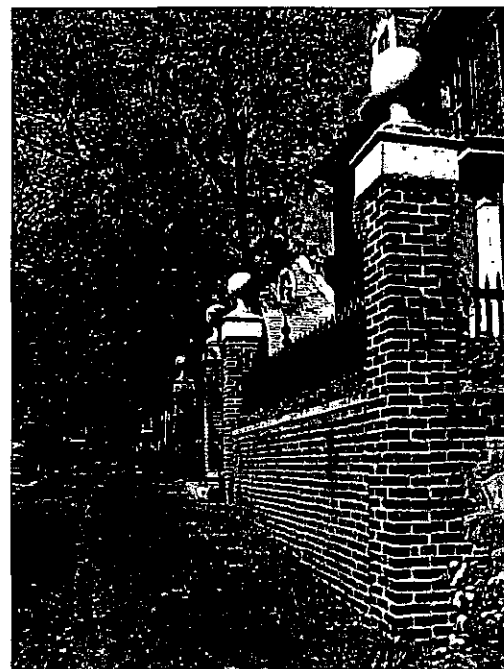
1. Wood picket fences shall be painted white. Side and rear yard fences shall be wood pickets or closed wood boards painted white or stained. Frame selection should be coordinated with Architectural Detailing on individual lot, see page 49 for Picket Fence details.
2. Lattice shall be wood. Vinyl is permitted only at crawl space enclosures in the rear of the house.
3. Paneled materials are not permitted.
4. Gates for garden walls shall be made of wood.
5. Front and side yard wood "picket" type fences are permitted as illustrated.



West Cornwall, CT



Chestertown, MD



Woodford, PA



Castine, ME

6. Picket and alley fences must be made of wood and painted white.
7. Rail road tie retaining walls are not permitted.
8. Garden walls and fences, except "picket" fences. The side yard shall be a minimum of 30" and a maximum of 5' - 6" high.
9. Garden walls or fences shall be placed at the rear lot line and side lot lines to maintain street continuity, unless otherwise noted.
10. The Town Architect must approve the design of garden fences.
11. Front picket fences may be constructed to no greater than half no greater than the half distance away from the front facade.
12. A garden wall and fence may be constructed to the front facade or the street facing facade.

PORCHES/PATIOS

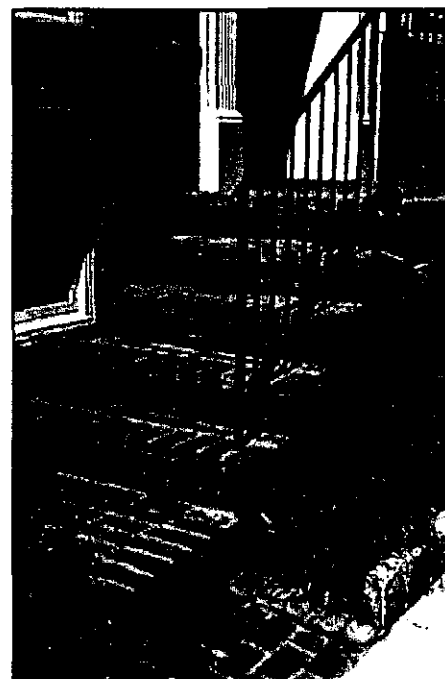
1. Porches shall be constructed of concrete or wood. Porches shall not be constructed of pressure-treated lumber or mill-finished aluminum. Concrete porches shall be veneered in brick or wood lattice to appear as a brick or wood porch.
2. Porches shall be painted and be a minimum of 8' – 0" deep.
3. Two-story porches are permitted. Porches are permitted on the top story in the front or rear of any Manor Home. Porches are required on at least 50% of all single-family detached lots.
4. Outdoor patios are permitted in the rear or side yards only and must be screened to a height of 5' – 6" when visible from a street.
5. Wrap around porches are encouraged on all single-family detached corner lots.
6. Railings shall have top and bottom rails centered on pickets or sawn balusters. Bottom rails shall be vertically proportioned and shall clear the floor. Spaces between pickets or balusters shall be no more than 3 inches. Railings of side steps should match the railings of front porch.

DECKS

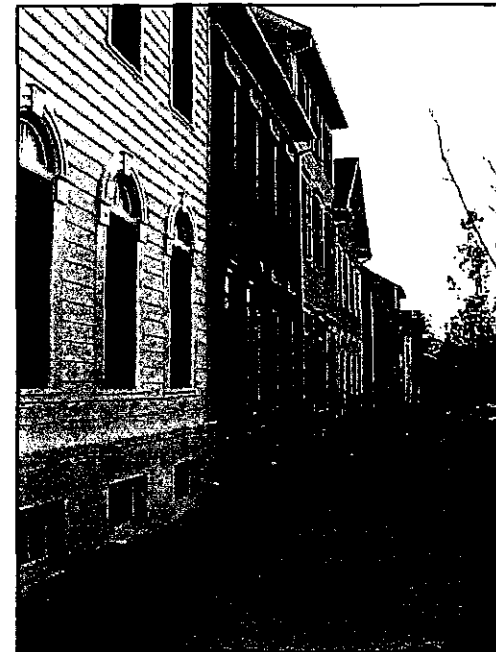
1. No decks are permitted above the first floor of the main house. All other decks shall be made of pressure treated wood, unless built on top of a residential parking garage.
2. Rails and caps of decks visible from adjacent streets shall be painted to match the predominant color of the trim of the main building.



Litchfield, CT



Kentlands, Gaithersburg, MD



Kentlands, Gaithersburg, MD



King Farm, Rockville, MD

LEADWALKS

1. Leadwalks of all homes shall be made of brick, pavers or flagstone and shall match the material of the front steps or stoop of the main building.
2. Leadwalks shall be built flush with the ground. The maximum grade is 3%.
3. The minimum width of a leadwalk shall be at no less than 4'-0". Leadwalk with steps shall be double the width of the steps.
4. The desired slope of the front yard shall be between 2% and 3%. The maximum grade shall be 5%.
5. The change of grade in the front yard shall be accommodated with a maximum of two sets of steps. The steps shall be at the front of the house and at the foot of the sidewalk. Both sets of steps shall have a constant tread width.
6. A transition from the sidewalk to the front yard shall be no greater than 3:1. A maximum two (2) feet high retaining wall may be constructed on two sides of the 3:1 surface.

ALLEYS, OUTBUILDINGS AND GARAGES

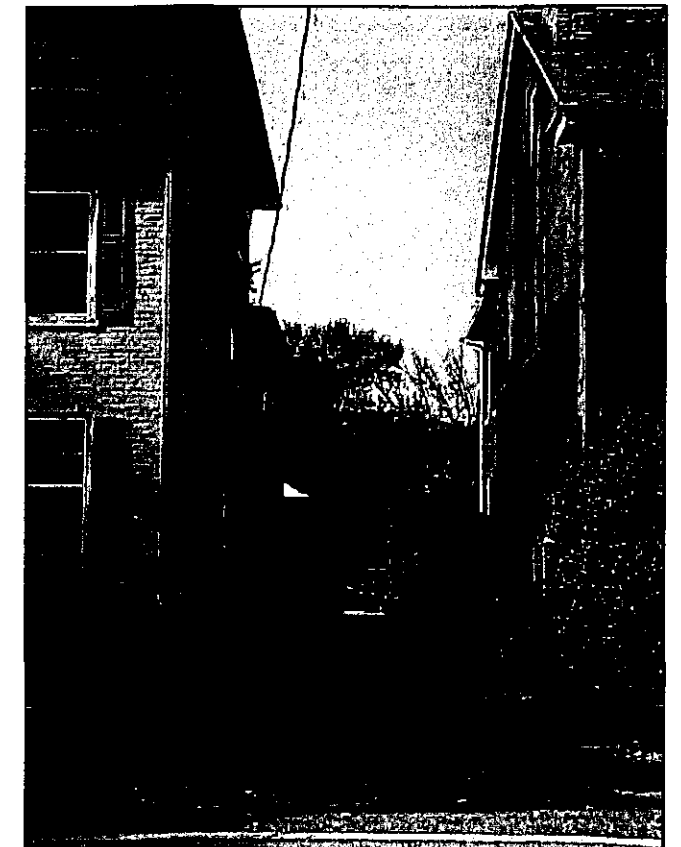
1. The use of detached garage structures and parking in the side or rear of a lot is encouraged.
2. Front loaded garages setback is a minimum of 20' from the front face of the home. The Garages are permitted only on specific lots as noted on the Site Plan.
3. Garages accessed from the front and side yard shall be constructed of the same material as the main building.
4. Driveways entered from the front yard and side yard shall be made of any material except asphalt.
5. All lots with an alley in the rear should have their required parking accessed from the alley. MPDU parking will be on-street.
6. All single family detached homes require garages.
7. Garage doors shall be recessed a minimum of six inches from the exterior face of the garage wall.
8. Where the drive meets a street or alley, residential driveways for a two car garage shall be a maximum of 16' - 0" in width and 10' - 0" for a one car garage
9. All parking areas and parking courts shall be screened from view with a 42" high garden wall and/or an evergreen hedge. Architectural fence of steel, wrought iron and brick piers may also be used.
10. Paired double garage doors are required for all two-car garages. Garage doors shall be separated by a post a minimum of 1' - 0" wide.
11. All accessory structures must be located in the rear yard.



Kentlands (Gaithersburg, MD)



Kentlands (Gaithersburg, MD)



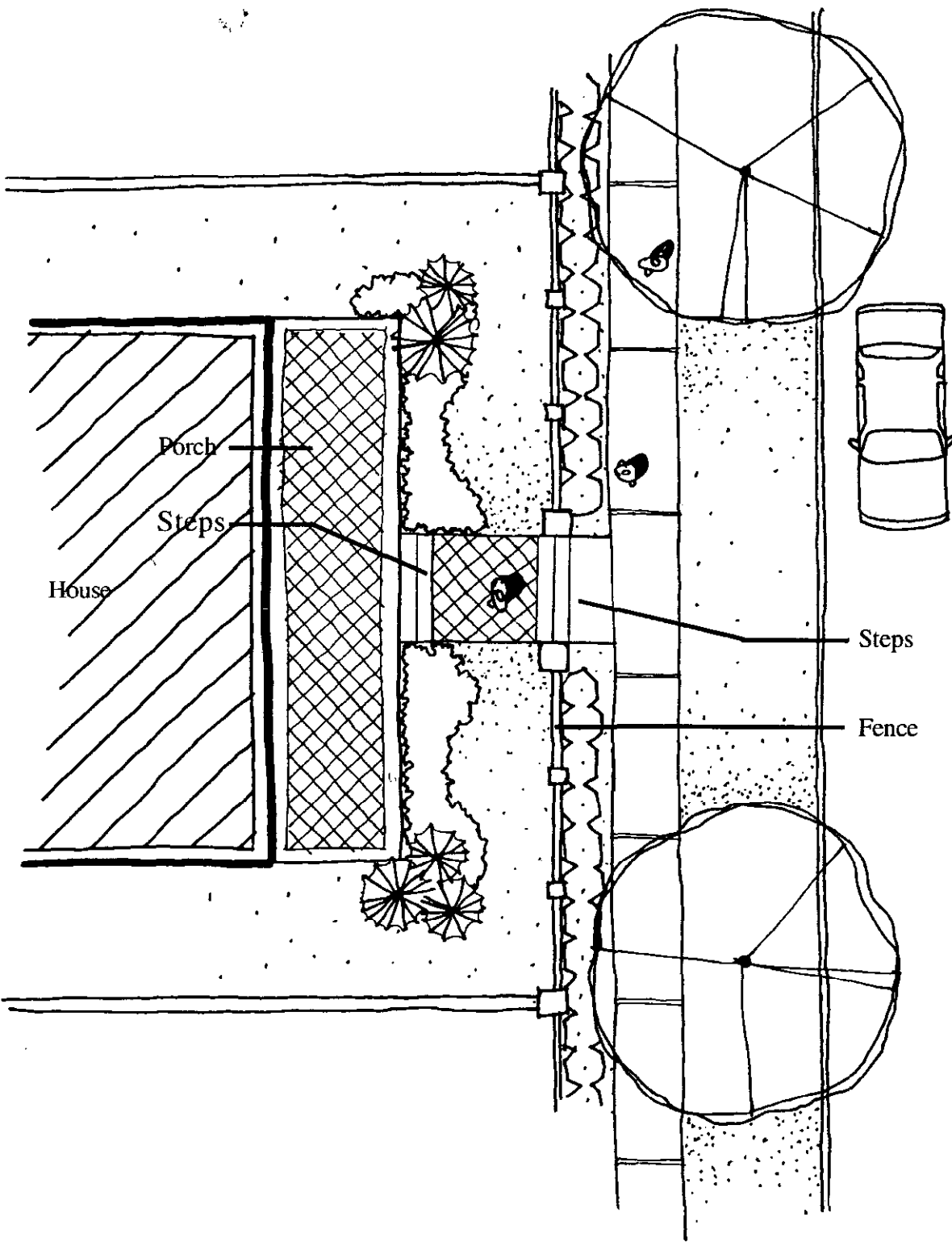
Chestertown, MD

MECHANICAL EQUIPMENT AND REFUSE CONTAINERS

1. All enclosures for mechanical equipment and refuse visible from the street shall be screened with materials compatible with those of the main building. Landscaping may be used for screening purposes.
2. Dryer vents shall be located in the garage, side or rear yard and shall not be visible from the street frontage.
3. All mechanical equipment shall be set in an enclosed structure and screened. These enclosures shall be compatible with the main building.
4. Ground level enclosures for all mechanical equipment shall be screened from view.
5. All meters shall be located on the side or rear of the house. The meters may not be located on an facade facing a street.
6. HVAC, utility meters and other utility equipments shall be placed in rear yards and the rear half of the side yards.

LEAD WALKS

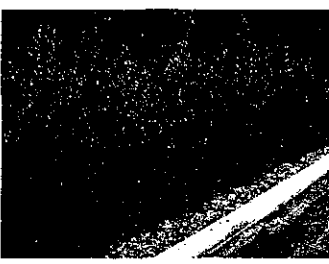
1. Lead walks of all homes shall be made of brick, concrete or flagstone and shall match the material of the front steps or stoop of the main building. Homes on framework streets are required to have brick sidewalks. Asphalt lead walks are prohibited.
2. The minimum width of a lead walk shall be four feet (4'-0").
3. Lead walks shall connect to the sidewalk at the street.
4. Lead walks shall be built flush with the ground. The maximum slope for lead walks shall be three percent (3%).
5. Where there is a significant difference in elevation that requires steps, steps shall be provided in comfortable groups, preferably at the front stoop or porch of the house, or at the street line. The use of perrons (single steps spaced widely apart) or multiple groupings of one or two steps is not permitted.
6. All steps along the lead walk shall match the material of the front steps or stoop of the main building. Steps of differing materials shall not be permitted.
7. Hand rails for steps should match the railings of the front porch or stoop.



DRIVEWAYS AND PARKING

- 1. Driveways and parking areas shall be constructed with concrete, exposed aggregate concrete, bituminous surface treatment with pea gravel aggregates, concrete pavers, brick, asphalt or other materials that are complimentary to the architectural materials. In areas where driveways are at the front of the house, only concrete, concrete pavers or brick may be used; materials shall be coordinated with the materials used for lead walks.
- 2. Driveways shall be a maximum of twelve feet wide for single width drives. Where drives meet garage entrances, the driveway width shall not exceed two feet beyond the garage opening.
- 3. The maximum slope for driveways shall not exceed nine percent (9%). Slopes less than five percent are recommended.
- 4. Parking areas shall be constructed of the same materials as driveways.
- 5. Parking areas shall be visually screened from the streets and neighboring properties with a combination of any of hedge plantings, walls or fences (see Fences section) with a minimum height of thirty six inches. Landscape materials used for screening shall be predominantly evergreen to provide year round effect.

Screening hedges may be selected from the following list::



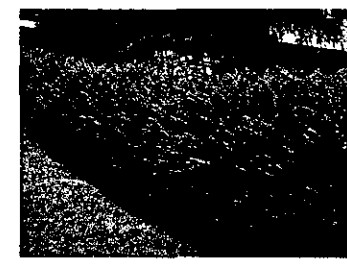
Euonymus kiatschovicus
'Manhattan'
Manhattan Euonymus



Pyracantha coccinea cultivars
Firethorn cultivars



Ilex cornuta 'Burfordii Nana'
Dwarf Burford Holly



Ilex crenata Cultivars
Japanese Holly



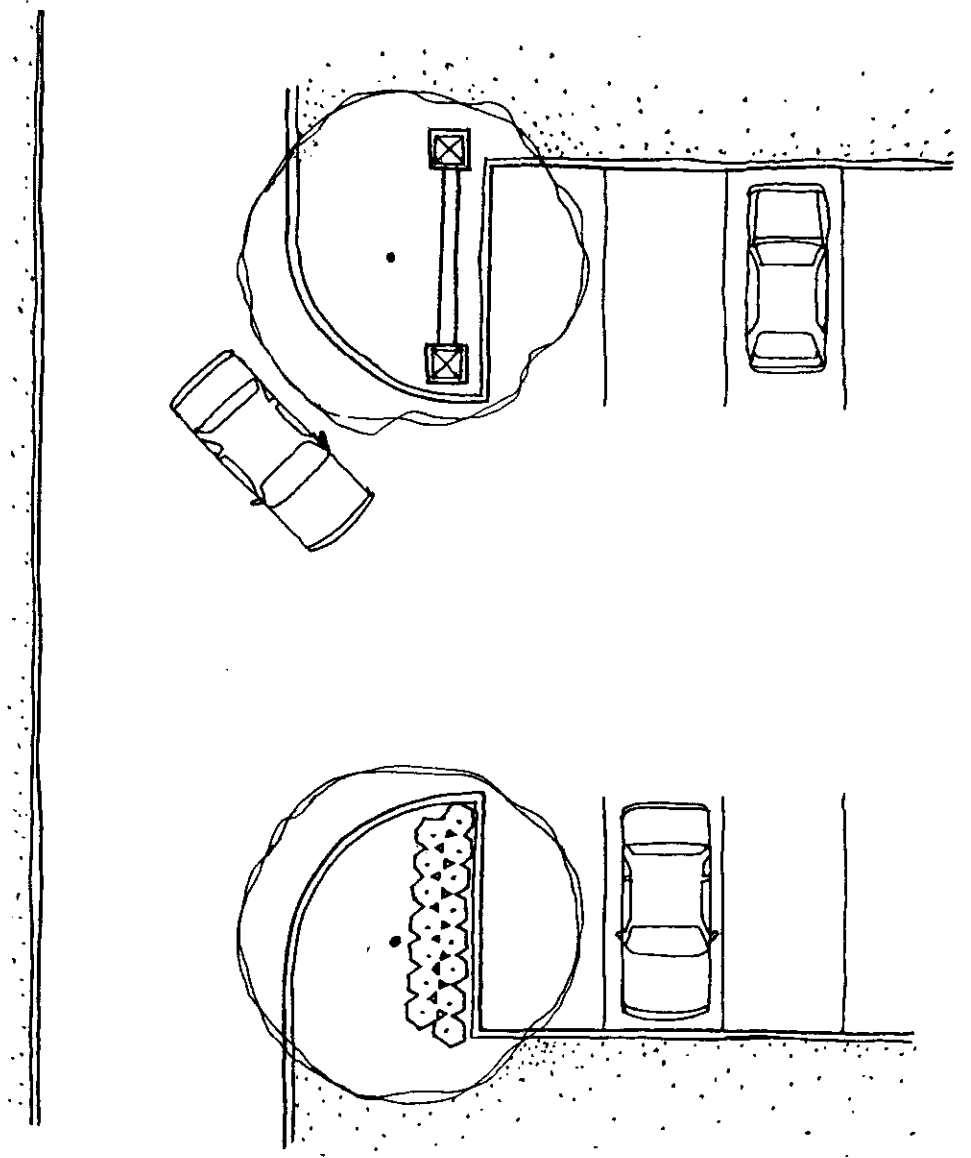
Ilex glabra
Inkberry Holly



Osmanthus heterophyllus 'Gulftide'
Gulftide Holly Osmanthus



Taxus cultivars
Upright Yews



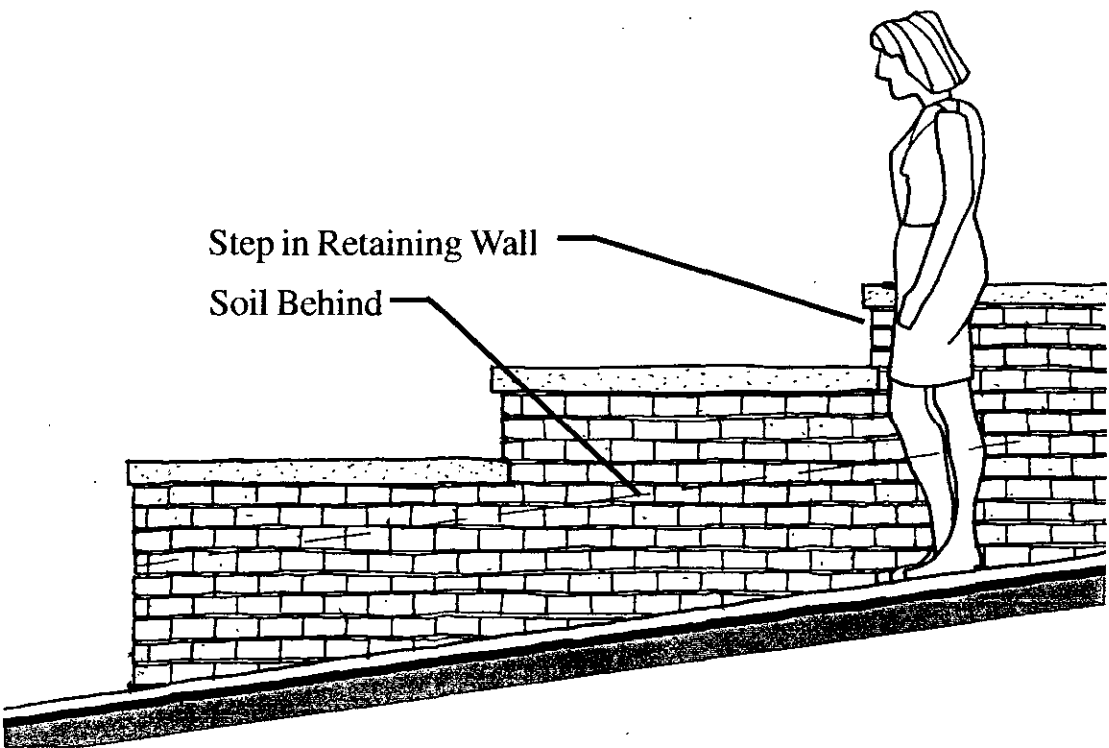
- 6. Large parking areas such as for apartments or condominiums shall have interior parking lot landscaping as required by the County Ordinance. In addition, these lots shall be screened from view of public streets, walks and accessways with a combination of any of an evergreen hedge, walls or fences with a minimum height of thirty-six inches.

PATIOS, TERRACES AND DECKS

- 1. Patios, terraces and decks shall be located in rear yards only.
- 2. No decks are permitted above the first floor of the main house. Rails and caps of decks visible from adjacent streets and public walkways shall be painted to match the predominant color of the trim of the main building.
- 3. Decks should be of a scale and style that is complimentary to the architectural style of the home.
- 4. Decks on single family attached homes (townhomes) shall incorporate privacy screens, designed as an integral part of the deck.

RETAINING WALLS

- 1. Retaining walls visible from the street or public walkways shall be made of brick or stone and shall be compatible with the main building. Retaining walls which are not visible from the street may be made of unit masonry materials, in addition to brick or stone.
- 2. When a building façade and its side yard face a street, retaining walls shall be made of the same material as the building.
- 3. Retaining walls shall be constructed to fit the slope, to the minimum height needed. Retaining walls shall be a maximum of six feet in height. Lower walls are preferred. Where walls exceed three feet (3'-0") in height, the top of the wall shall be kept level, and the wall stepped at intervals along slopes.
- 4. Guardrails may be required by building codes. Every effort shall be made to reduce or eliminate the need for guardrails. Where guardrails cannot be avoided, they must be consistent in design with the architectural design of the associated structures.
- 4. Walls should be placed at the lot lines to maintain street continuity, unless otherwise noted.
- 5. Railroad tie retaining walls are not permitted.

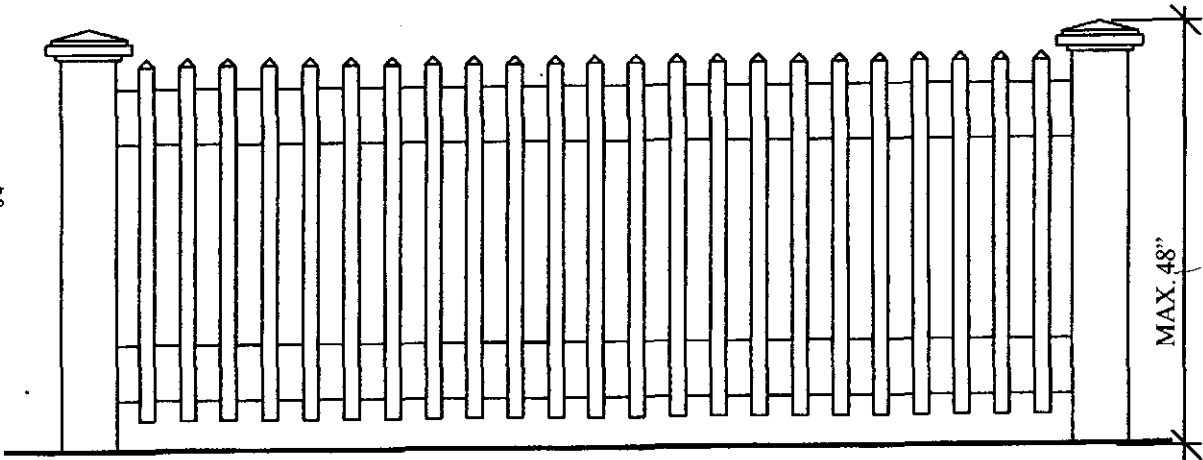


FENCES - FRONT YARD, WOOD PICKET

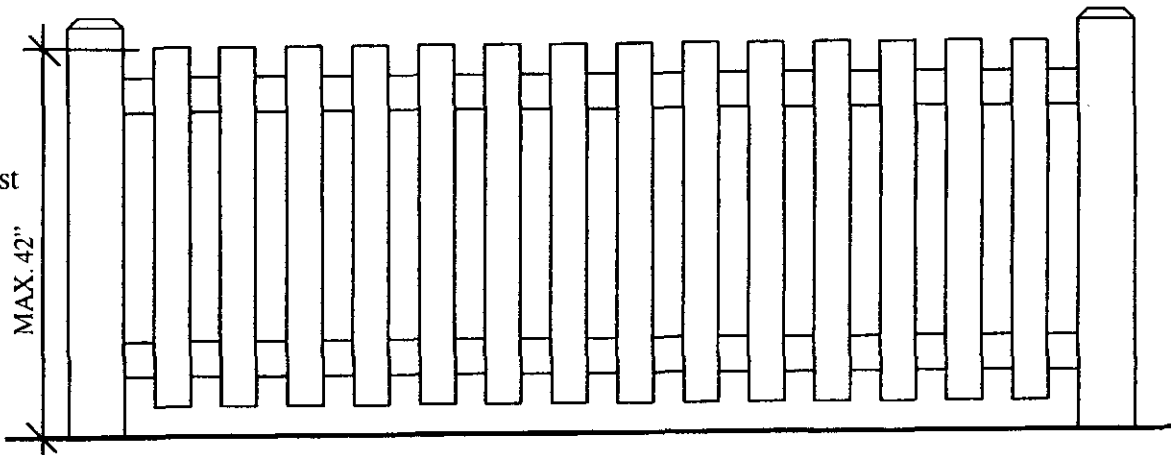
GENERAL NOTES:

- 1. Picket spacing shall be set so as to prevent a sphere 4" in diameter from passing through the space.

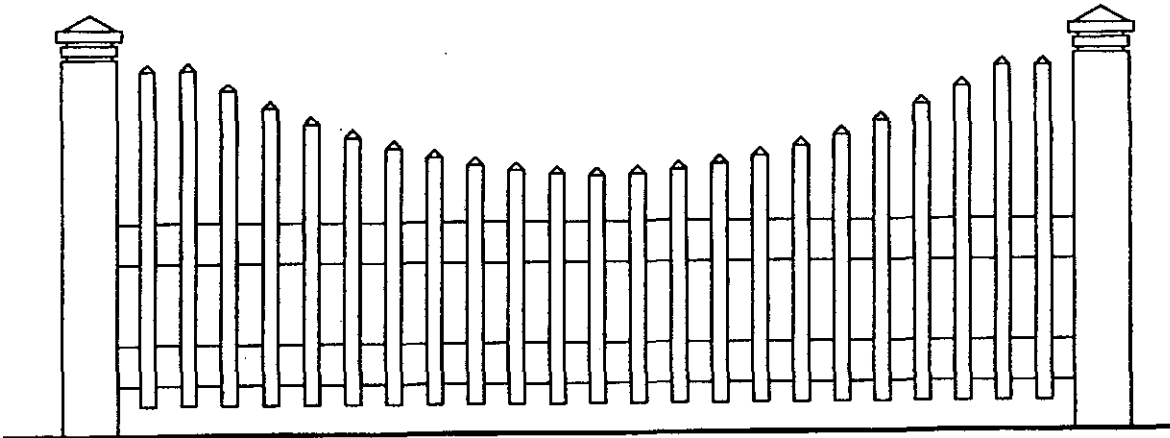
OPTION A :
Flat Fence
Thin Square Picket
Mitered trim, molding cap



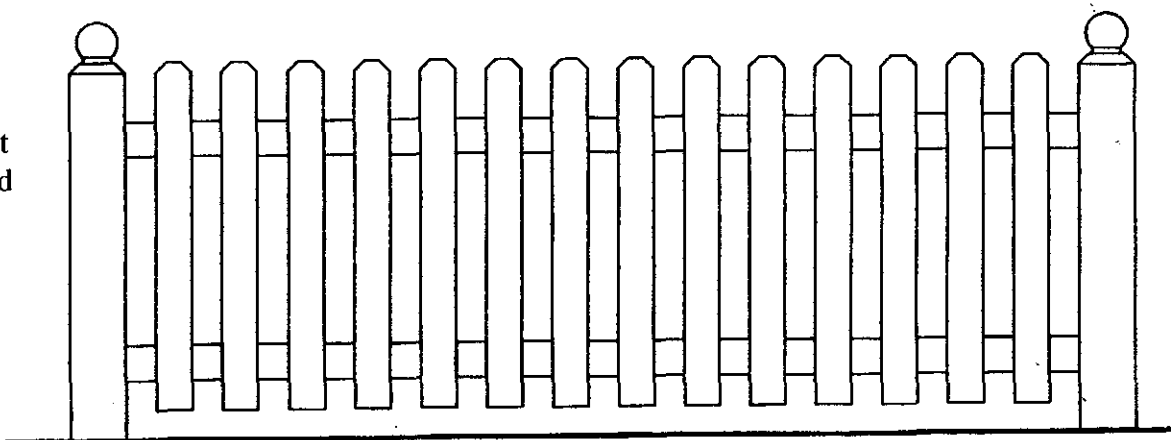
OPTION D :
Flat Fence
Flat Wide Picket
45 degree mitered post



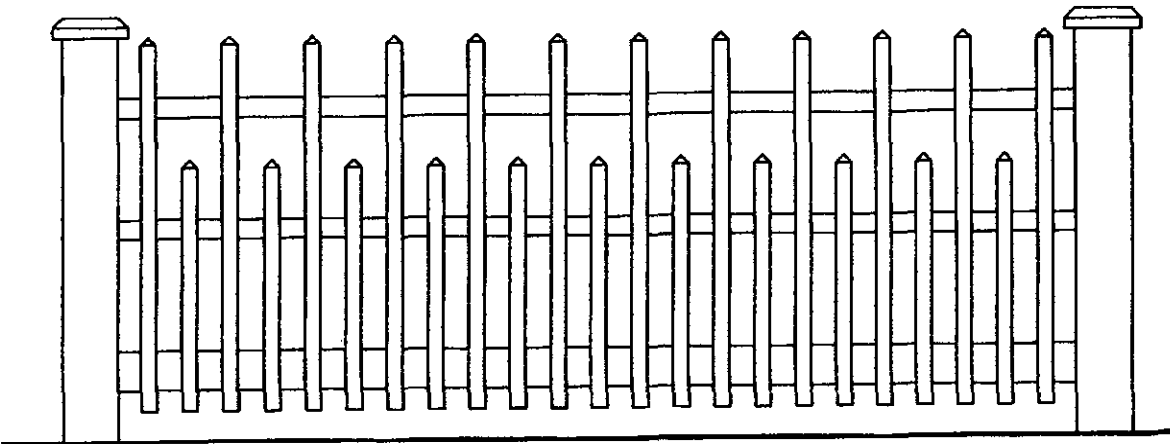
OPTION B :
Scalloped Fence
Thin Square Picket
Cut top and veins at cap



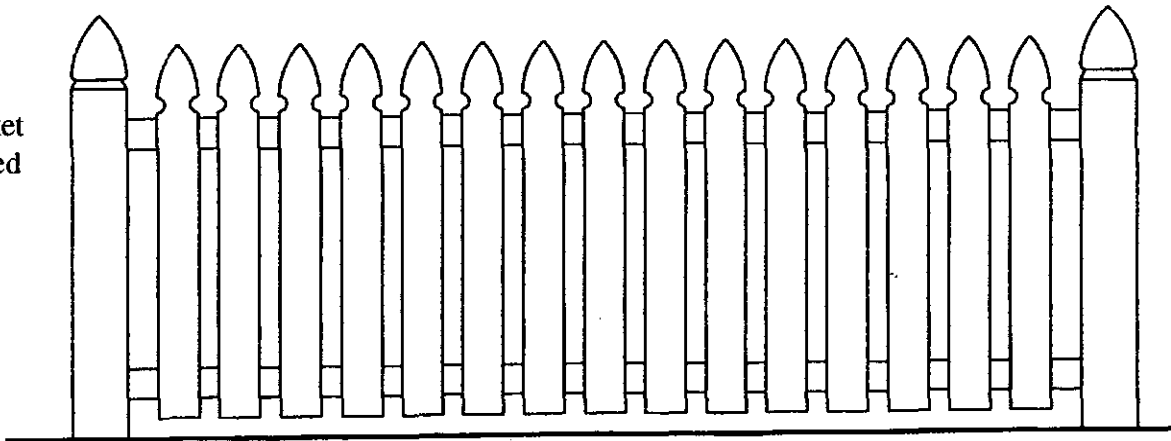
OPTION E :
Flat Fence
Rounded Wide Picket
Ball finial and mitered post



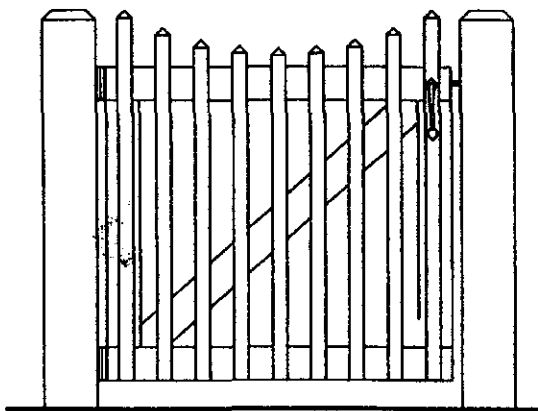
OPTION C :
Flat Fence
Alternating Thin Square Picket
Mitered trim and molding cap



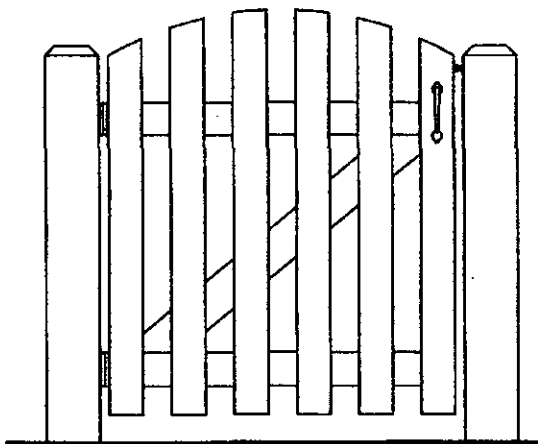
OPTION F :
Flat Fence
Spearhead Wide Picket
Spearhead and mitered post



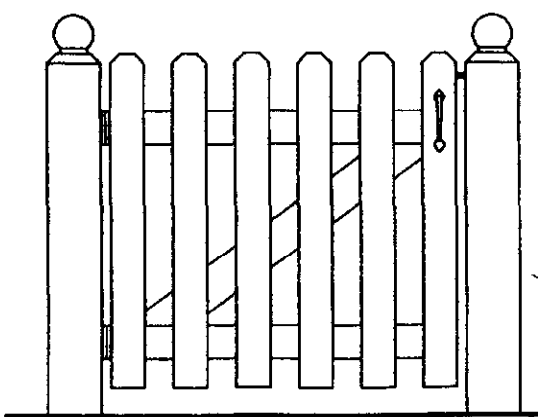
FENCES - GATE OPTIONS



OPTION A -Scalloped Gate with thin picket



OPTION B -Rounded Gate with flat picket



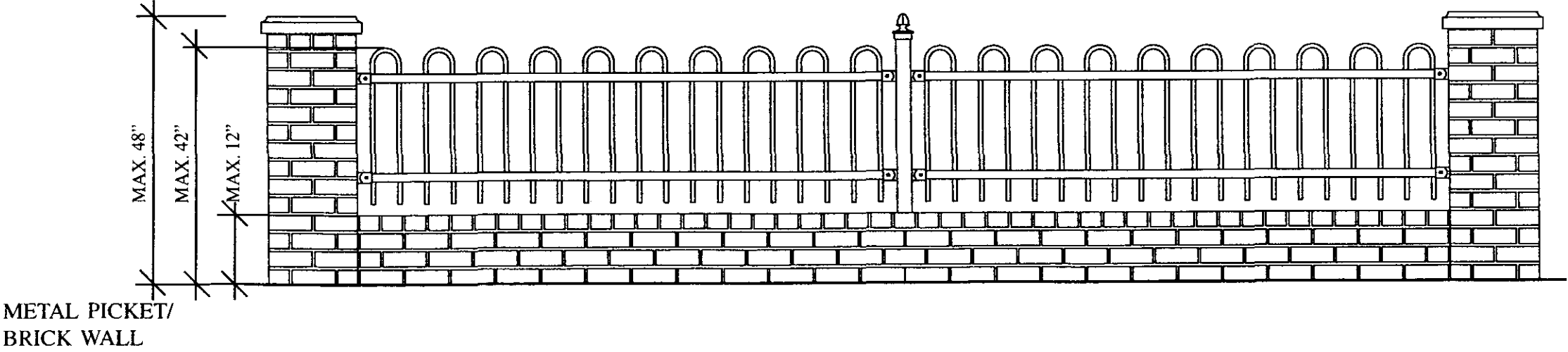
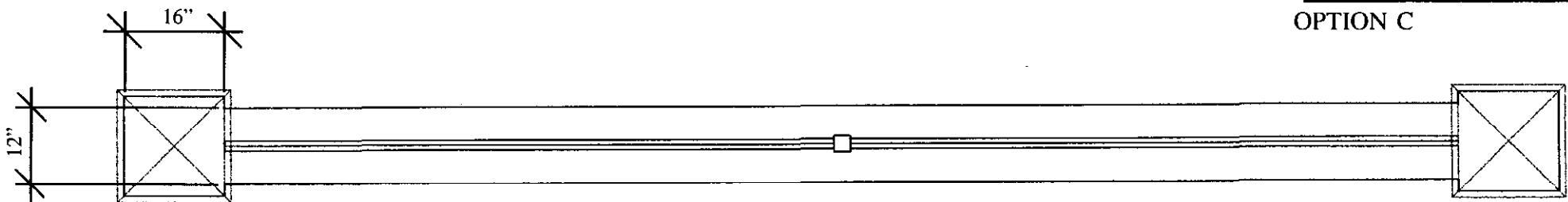
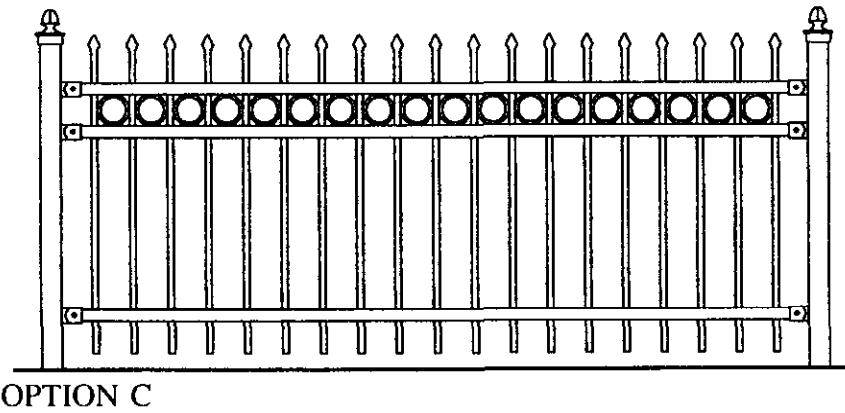
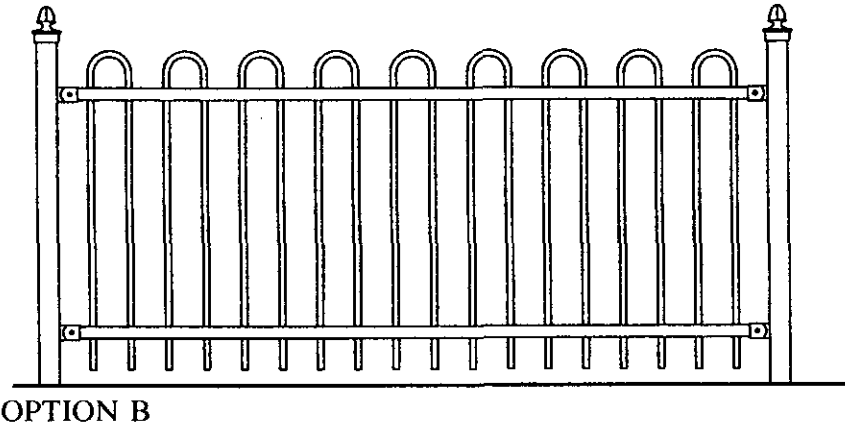
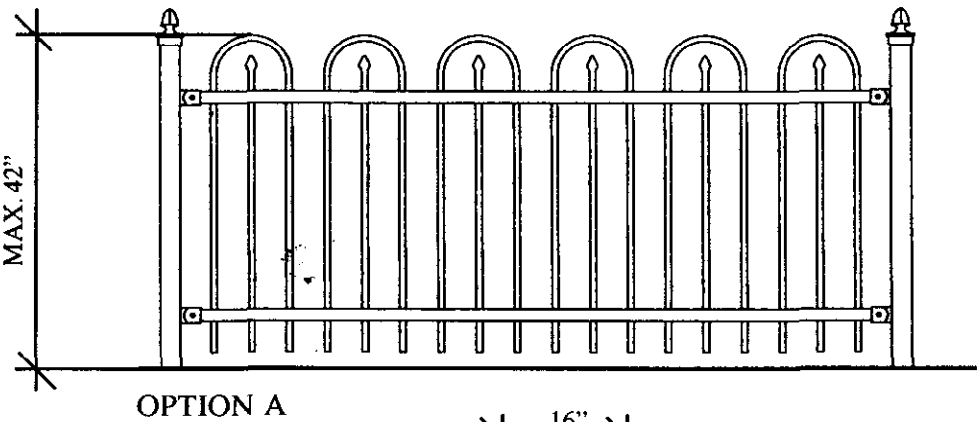
OPTION C -Flat Gate with rounded picket

GENERAL NOTES:

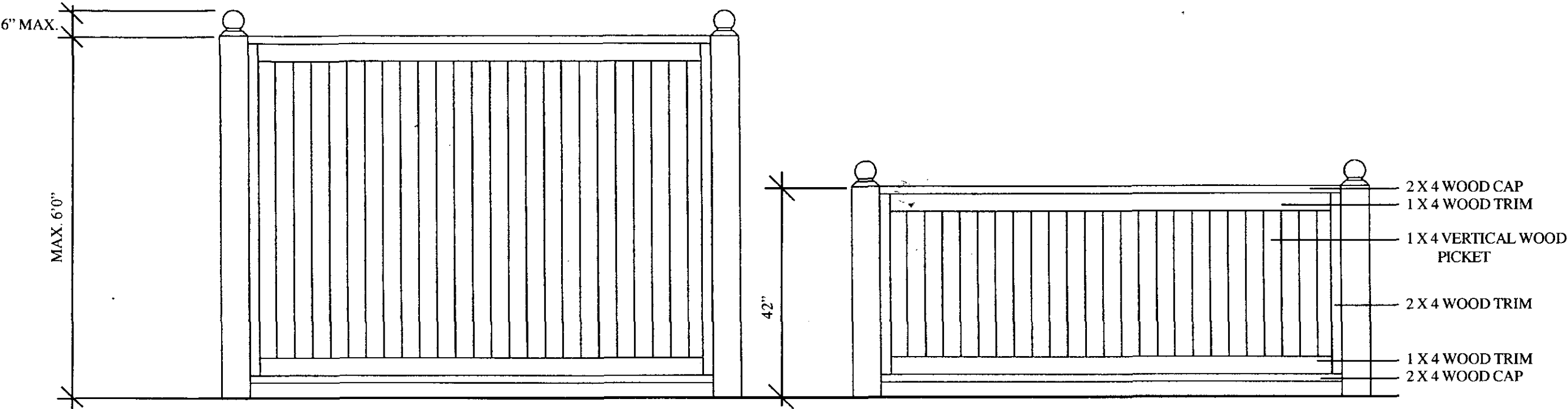
- 1. The gate shall not exceed forty-two inches (54”) in height. Posts may not exceed 48” in height.
- 2. Picket spacing shall be set so as to prevent a metal sphere 4” in diameter from passing through the space.

FENCES—FRONT YARDS, METAL

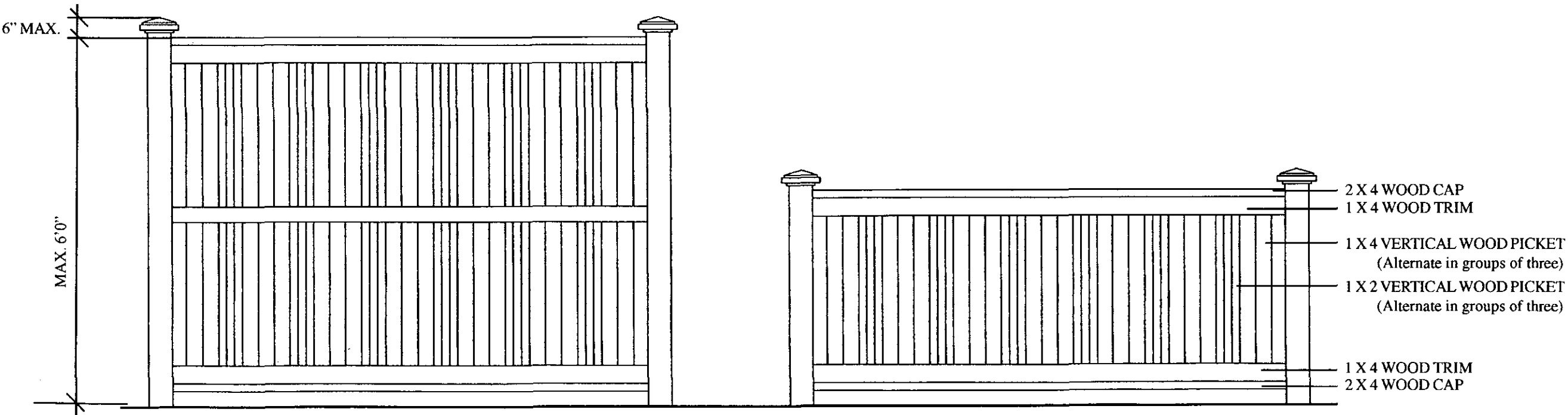
- 1. Metal fences may also be mounted atop a low brick or stone wall. The fence and wall combination shall not exceed forty-two inches (42") in height from the low side of the wall. The low wall shall be one foot in height maximum and six inches in height minimum.
- 2. Picket spacing shall be set so as to prevent a metal sphere 4" in diameter from passing through the space.
- 3. All field welding shall be ground smooth and clean prior to painting.



FENCES - REAR YARD SCREEN FENCE

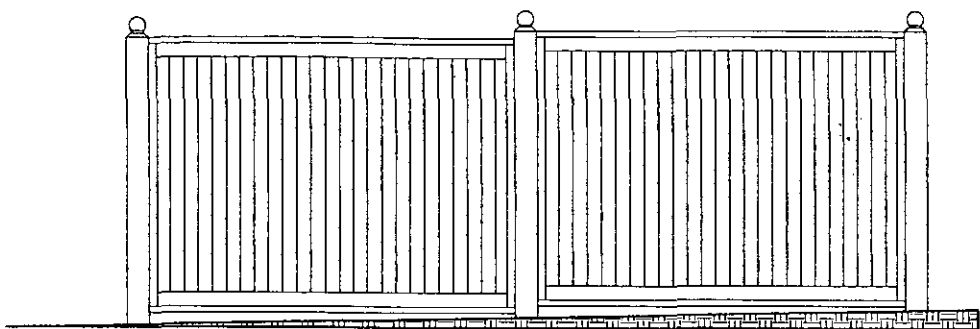


OPTION A - VERTICAL BOARD FENCE

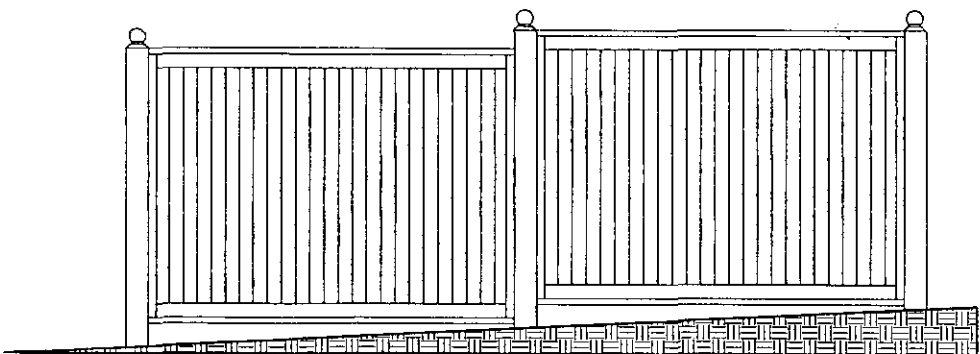


OPTION B - VERTICAL BOARD FENCE - ALTERNATING WIDTHS

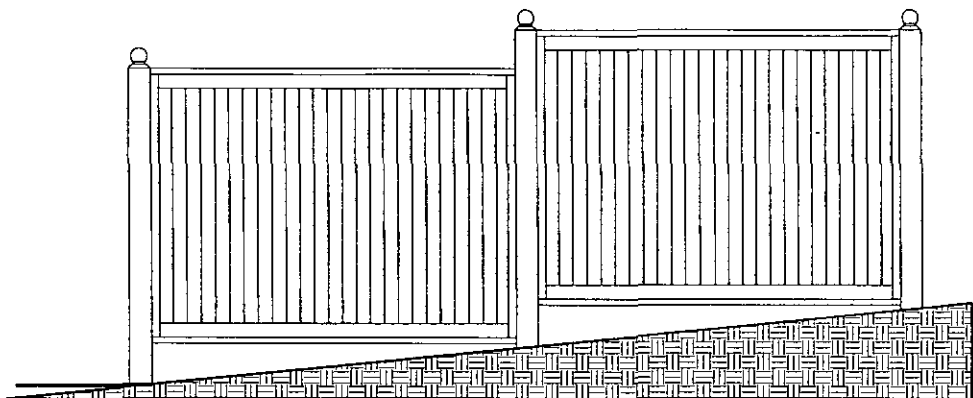
FENCES - SLOPE TRANSITION



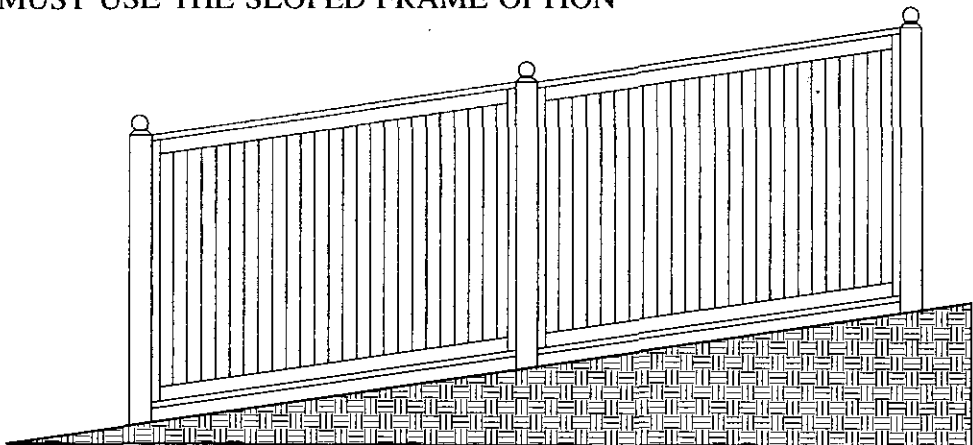
2% SLOPE:
STEPPED FRAME OR
SLOPED FRAME



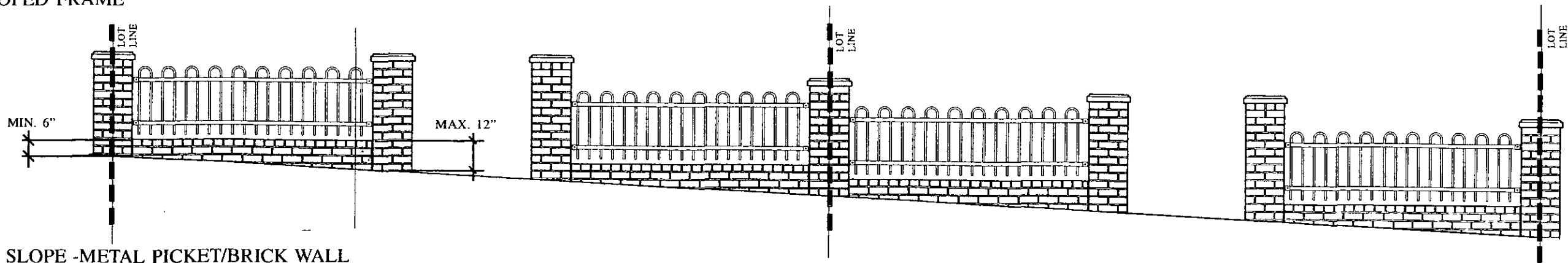
5% SLOPE:
STEPPED FRAME OR
SLOPED FRAME



10% SLOPE:
STEPPED FRAME OR SLOPED FRAME
NOTE: FENCING ON SLOPES GREATER THAN 10%
MUST USE THE SLOPED FRAME OPTION



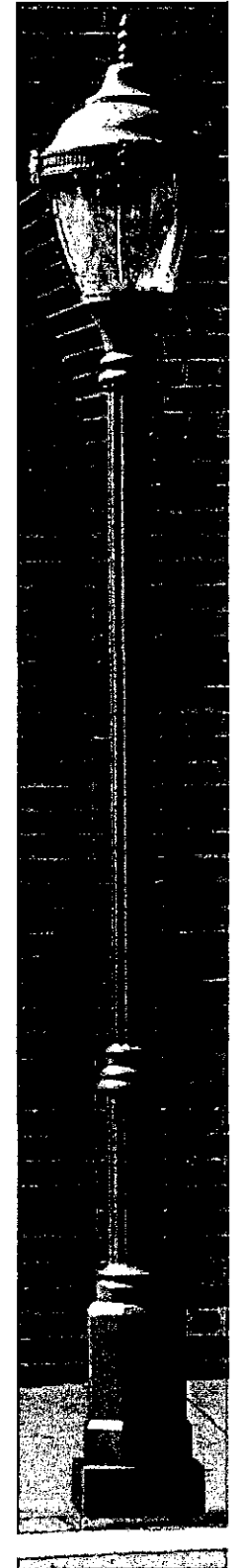
15% SLOPE:
SLOPED FRAME ONLY



5% SLOPE -METAL PICKET/BRICK WALL
COMBINATION

LIGHTING

1. Decorative streetlights shall be provided along the street per the approved site plans. Individual post lamps in front yards are prohibited.
2. Lanterns or porch lights in a style consistent with the architecture shall be provided at the front door to each home. Light fixtures should be properly proportioned to the building facade.
3. Lighting color must conform to a white color (e.g. incandescent, metal halide, fluorescent, quartz or halogen). The use of high pressure sodium (yellow-orange) lighting is not permitted.
4. Security lighting may be permitted in rear yards if incorporated as part of the overall building design. Lamps must be shielded and directed to prevent glare or spill-over of light onto neighboring properties. Unshielded flood lights, 'wall-packs' or 'cobrahead' lights are prohibited.



SITE FURNISHINGS

Mailboxes

1. Mailboxes for delivery of mail shall be located in accordance with the U.S. Postal Service regulations.
2. Single family detached homes shall have mailboxes which are attached to a post or fence at the back of the sidewalk. Where a fence is required, the mailbox post shall be incorporated into the design of the fence as a fence post, or the mailbox may be hung on the front of the fence in a permanent manner.
3. Single family attached homes (townhomes) shall use the U.S. Postal Service approved cluster boxes. These boxes shall be located inconspicuously, and should be incorporated into a mail kiosk, where special attention is given to the location, access, lighting and design of these areas.
4. Multifamily buildings (apartments, condominiums) shall have cluster boxes located within the breezeways/entry areas of the buildings.

Dog Houses

1. Dog houses may not exceed sixteen square feet of floor space, and may not exceed four feet in height. They shall be made of wood in a style consistent with the architectural style of the main house. Dog houses and runs shall be located only in rear yards.

Flagpoles

1. Flags may be flown from building mounted staffs; they should be permanently mounted in a manner to coordinate with the architectural design of the structure. Free standing flag poles are not permitted.

Barbecue Areas

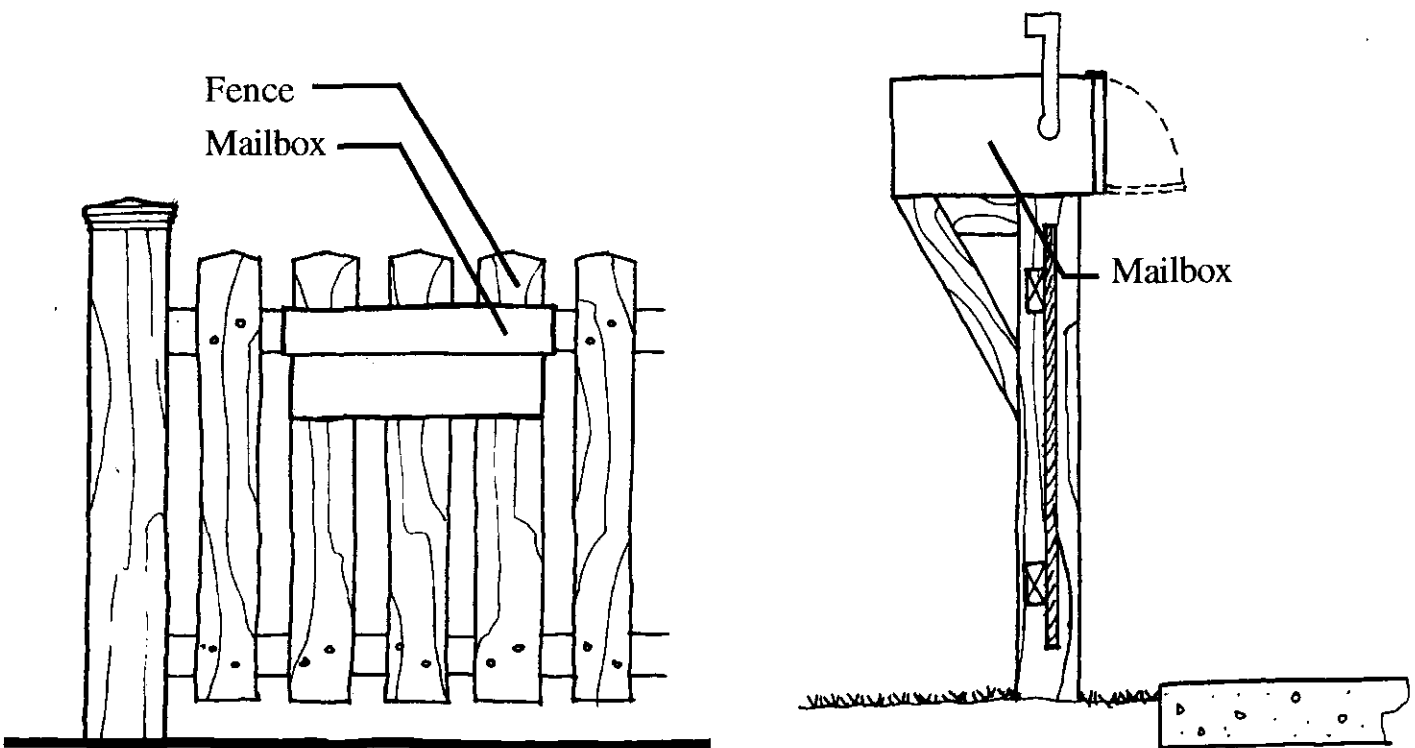
1. Permanent barbecues shall be located only in rear yards.

Insect Traps

1. Insect traps shall be located such that they are not visible from streets and public walkways.

Clotheslines

1. Clotheslines or similar apparatus for exterior drying of laundry are not permitted.



TEMPORARY SIGNS

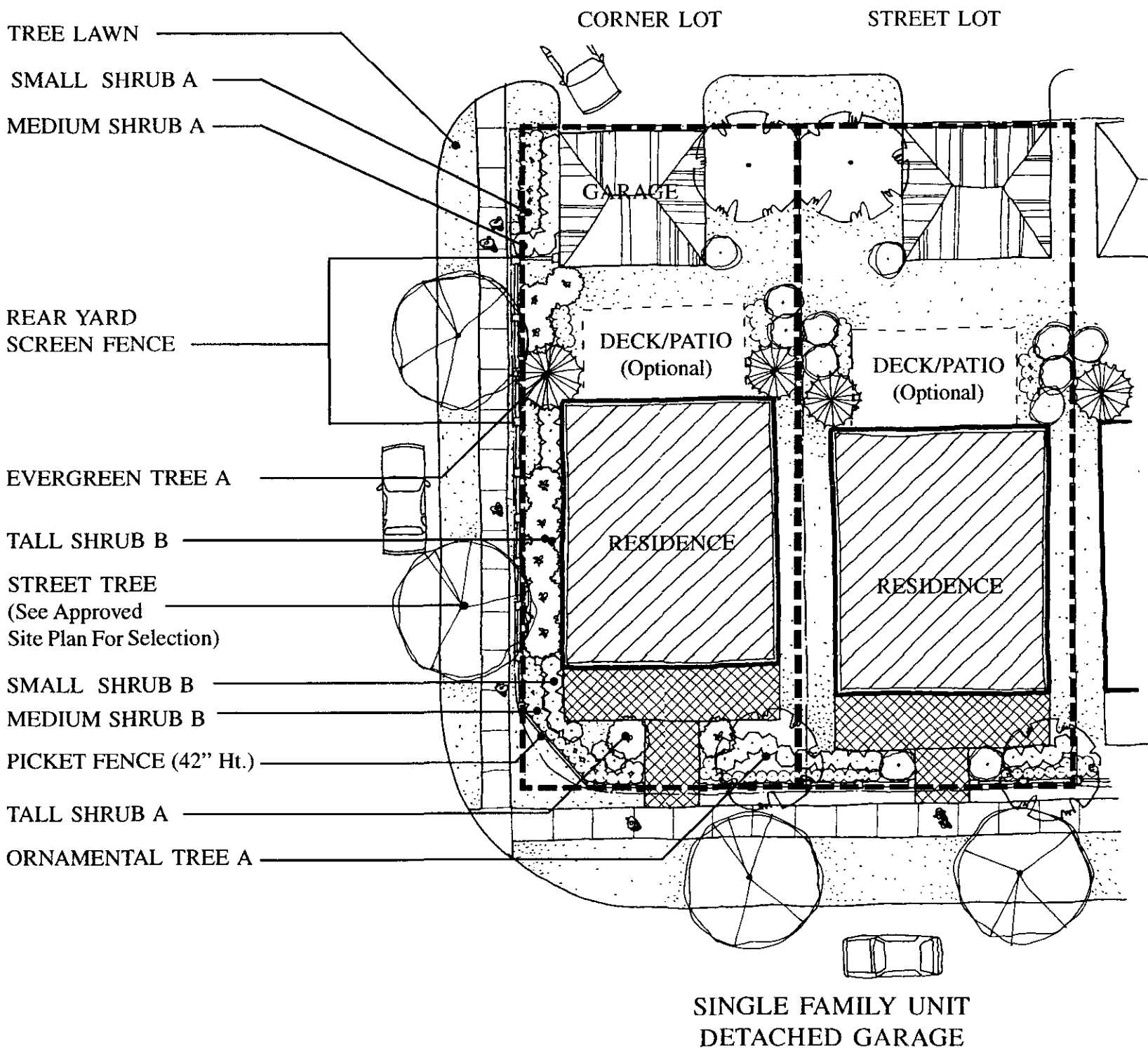
1. All temporary signs, including builder identification, lot identification, realtor signs and construction signs shall conform to the Clarksburg sign program.

Designs to be Provided
by Terrabrook

LANDSCAPE - GENERAL

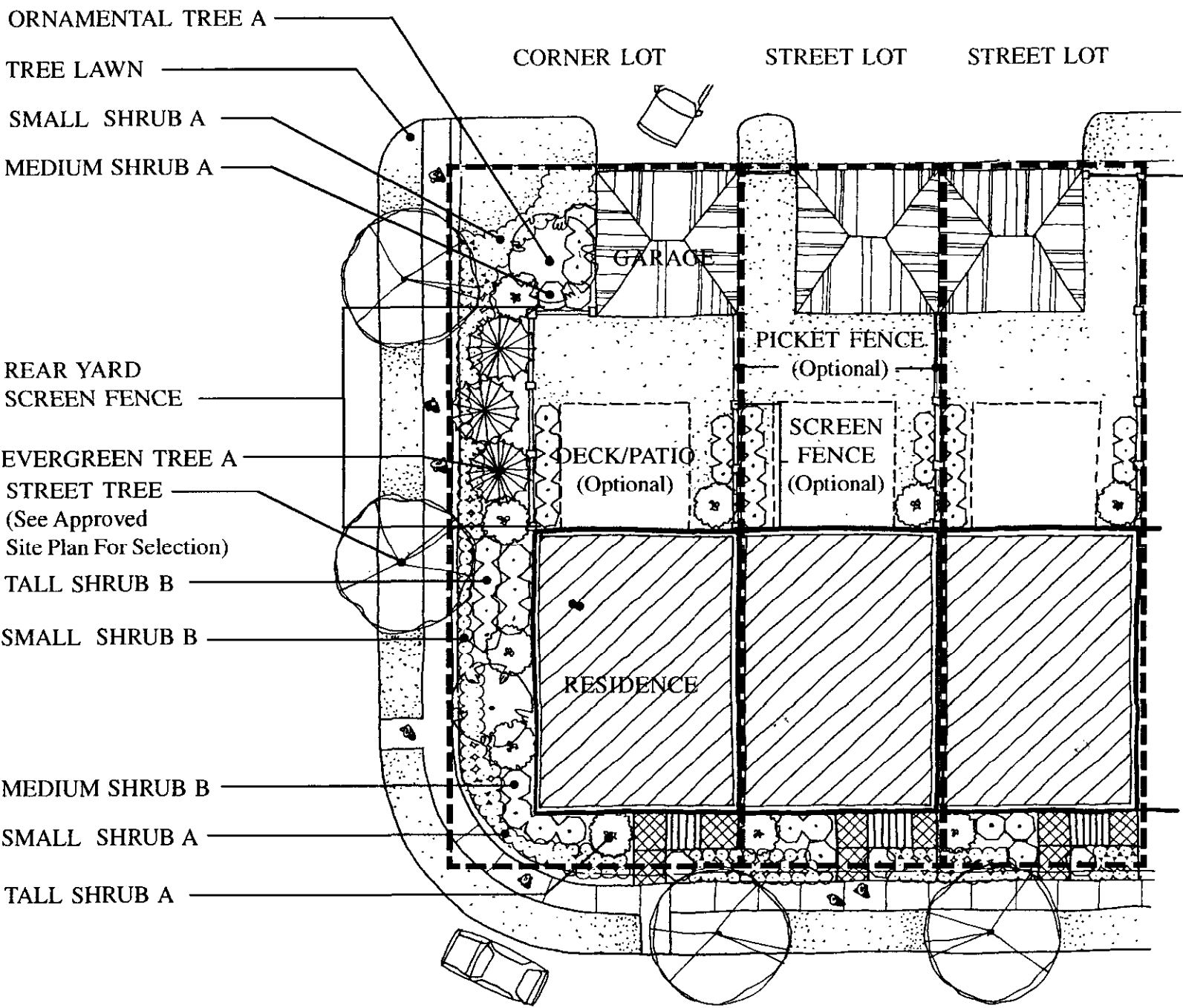
1. Landscaping is required for all development within Clarksburg and may include deciduous, evergreen or ornamental trees, shrubs, groundcovers, perennials, and seasonal color.(annuals). Landscape plantings must comply with the approved planting plans that are part of the County site plan, as well as these guide-lines.
2. Street trees shall be provided according to the approved County Site plans.
3. Landscape plantings for individual homes should consist of a limited variety of trees, shrubs and groundcovers to create an attractive, well designed, cohesive landscape. Shrubs and groundcovers should be planted in masses of a single species or cultivar in sufficient numbers to create beds or drifts of plants.
4. Plantings shall be installed at or larger than the following minimum sizes to ensure good initial appearance:
Shade Trees: minimum 2 ½” caliper
Ornamental/Flowering Trees: minimum 1” caliper
Evergreen Trees: minimum 6’ – 8’ height
Large Shrubs: minimum 36” height
Medium Shrubs: minimum 24” height
Small Shrubs: minimum 15” height
Groundcovers: minimum 4” pot
5. Plants shall be selected based upon their ultimate height, width and growth habit in relation to the space where they will be planted. When planted adjacent to buildings, plantings should complement and not obscure the building’s architectural features.
6. Plantings shall be predominantly evergreen to assure a year round framework; plants shall also be selected to provide seasonal and visual interest.

LANDSCAPE - SINGLE FAMILY HOMES



SCALE : 1"=20'0"

LANDSCAPE - TOWNHOMES



TOWNHOME UNIT
DETACHED GARAGE

SCALE : 1"=20'0"

RECOMMENDED PLANT PALETTE - SINGLE FAMILY

FLOWERING TREES

Amelanchier canadensis
Acer palmatum ‘Bloodgood’
Betula nigra ‘Heritage’
Malus floribunda
Malus ‘Profusion’
Magnolia x soulangiana
Prunus okame

EVERGREEN TREES A

Ilex opaca
Thuja occidentalis ‘Emerald Green’
Tsuga canadensis

EVERGREEN TREES B

Ilex opaca
Thuja occidentalis ‘Emerald Green’
Tsuga canadensis

TALL SHRUB A

Ilex x attenuata ‘Fosteri’
Ilex cornuta ‘Burfordii’
Ilex x ‘Nellie R. Stevens’
Osmanthus heterophyllus
Prunus laurocerasus ‘Schipkaensis’
Taxus cuspidata ‘Capitata’

TALL SHRUB B

Euonymus kiatschovica ‘Manhattan’
Ilex cornuta ‘Burfordii’
Ilex x ‘Nellie R. Stevens’
Viburnum rhytidophyllum ‘Willowood’

MEDIUM SHRUB A

Hydrangea ‘Mariessii Variegata’
Ilex x meserveae ‘Blue Princess’
Ilex crenata ‘Green Luster’
Ilex crenata ‘Howardii’
Prunus laurocerasus ‘Otto Luykens’
Rhododendron ‘Delaware Valley White’

SMALL SHRUBS

Cotoneaster salicifolius ‘Repandens’
Euonymus fortunei ‘Emerald Gaiety’
Ilex crenata ‘Helleri’
Jasminium nudiflorum

GROUNDCOVERS/ VERY SMALL SHRUBS

Liriope muscari ‘Monroe #2’
Liriope muscari ‘Variegata’
Pachysandra terminalis
Vinca minor ‘Periwinkle’

* See Approved Site Plan Plant List for Sizes

RECOMMENDED PLANT PALETTE - TOWNHOUSE

FLOWERING TREES A

Betula nigra ‘Heritage’
Carpinus caroliniana
Cercis canadensis ‘Forest Pansy’

FLOWERING TREES B

Amelanchier canadensis
Carpinus caroliniana
Cornus kousa ‘Milky Way’

TALL SHRUB A

Ilex x attenuata ‘Fosteri’
Ilex x ‘Nellie R. Stevens’
Taxus cuspidata ‘Capitata’

TALL SHRUB B

Hibiscus syriacus ‘Diana’
Ilex cornuta ‘Burfordii’
Taxus cuspidata ‘Nana’
Viburnum plicatum ‘Mariessii’

TALL SHRUB C

Osmanthus heterophyllus
Prunus laurocerasus ‘Schipkaensis’
Taxus cuspidata ‘Capitata’
Viburnum rhytidophyllum ‘Willowood’

MEDIUM SHRUB A

Ilex glabra ‘Compacta’
Pieris japonica
Rhododendron ‘Robin Hill’

SMALL SHRUBS

Ilex crenata ‘Helleri’
Mahonia aquifolium
Prunus laurocerasus ‘Otto Luykens’
Taxus baccata ‘Repandens’

GROUNDCOVERS-VERY SM. SHRUBS

Cotoneaster dammeri ‘Coral Beauty’
Euonymus fortunei ‘Emerald Gaiety’
Juniperus horizontalis ‘Blue Chip’
Liriope muscari ‘Monroe #2’
Liriope muscari ‘Variegata’

THE DESIGN REVIEW PROCESS

The primary objectives of Design Review process is to review the applications and to conform to the Design Guidelines. It does not include the responsibilities for the following:

1. Structural Safety and Capacity.
2. Stability and Compatibility of Soil Condition
3. Compliance with government regulations, laws or ordinances, building codes and safety requirements.
4. The performance or quality of work of any of the contractor.

The Design Review process includes three phases. In the First Phase (Schematic Design Phase) the applicant may submit more than one scheme for review before selecting a scheme to develop further. All completed submissions will be reviewed by the Town Architect within five business days.

I. SCHEMATIC DESIGN REVIEW

1. Schematic Design Review Application
2. Site Plan @ 1"= 20'0"
3. Floor Plans @ 1/4"=1'0"
4. Elevations @ 1/4"=1'0"
5. Landscape Plans @ 1"= 20'0"
6. Material Specifications Outlines
7. Completed Schematic Design Review Chart for Architectural and Landscape elements.

II. FINAL DESIGN REVIEW

1. Site Plan @ 1"= 20'0"
2. Landscape Plan @ 1"= 20'0"
3. Planting & Maintenance Specifications
4. Floor Plans @ 1/4= 1'0"
5. Elevations @ 1/4"=1'0"
6. Building Sections
7. All required details
8. Material Samples for walls, roofs and windows.
9. Completed Final Design Review Chart for Architectural and Landscape elements.

III. FIELD INSPECTION

The Required Documents should include the following Information.

Site Plan

- a) The property lines and lot Area
- b) Percent of lot coverage
- c) Building footprints with entries noted
- d) Existing and proposed grades noted
- e) Setback to the lot lines

Landscape Plan

- a) Latin and common names of all materials.
- b) Size, Quantity and Location of all the materials
- c) Garden elements such as retaining walls, paved surfaces

Floor Plans

- a) Room locations

Elevations

- a) Locations of all openings including doors and windows
- b) Materials rendered and specified, including colors.
- c) Finished grade and finished floor elevations
- d) Building heights to the eaves or parapet walls.
- e) Proposed roof pitches

Details

- a) Openings, doors and windows.
- b) Porches and Balconies.
- c) Column capitals and bases.
- d) Ornamental elements and trims.
- e) Eaves and cornices.
- f) Chimneys
- g) Fences and Garden walls.

Builder _____

BLOCK NO. _____ LOT NO. _____

Property Address _____

Architect _____

Phone: _____ Fax: _____

Phone: _____ Fax: _____

Final Design Review

Received Drawings

- ☐ 1. Site Plan
- ☐ 2. Floor Plans @ 1/4" = 1'0"
- ☐ 3. Elevations @ 1/4" = 1'0"
- ☐ 4. Landscape Plans @ 1"= 20'0"
- ☐ 5. Building sections
- ☐ 6. All Required Details.
- ☐ 7. Material samples for roofs and walls
- ☐ 8. Planting Specifications
- ☐ 9. Completed Final Design Review Chart

Reviewed by: _____ Date: _____

Approved by: _____ Date: _____

Field Inspection Review

Inspected by: _____ Date: _____

Approved by: _____ Date: _____